



GreenLeaf Designs
Tulsa, OK
918-524-9721

GreenLeafArchitecture.com



GENERAL NOTES

Drawings are intended to be printed on 24"x36" paper. Printing these drawings at a different size will impact the scale. The recipient of these Drawings shall be responsible for any errors resulting from incorrect copying or printing or any other alteration that causes a change of scale.

General Contractor shall refer to all applicable construction procedures as provided in these drawings or as stated below.

Before performing any work or ordering any materials, the General Contractor and all Subcontractors shall be responsible for verifying all conditions and dimensions of the work.

Written dimensions shall take precedence over scaled dimensions.

As a minimum standard, all work and materials installed shall be in strict accordance with all applicable codes, regulations and ordinances having jurisdiction.

Install all Manufacturer's items, materials and equipment in strict accordance with the Manufacturer's recommended instructions, methods and specifications.

The General Contractor must maintain a current, complete set of Construction Drawings at the site for review by Subcontractors and others on the Construction Site through all phases of construction.

Dimensions indicated are from finished wall surface to finished wall surface unless otherwise indicated.

Owner to coordinate with General Contractor for location of project materials staging, temporary office facilities, temporary restroom facilities, and/or temporary utilities for this project, if applicable.

Construction shall comply with the accessibility requirements, if applicable, per the Building Code and the Americans with Disabilities Act Accessibility Guidelines.

Size, placement and orientation of framing members on Structural Details override size, placement and orientation of framing members shown on the Construction Drawings.

Plumbing, Mechanical, and Electrical Contractors shall not penetrate or cut structural members without written authorization from a licensed Professional Structural Engineer.

Provide solid 2x wood blocking within wood stud walls at the anchorage locations of cabinets, door stops, toilet room accessories, mantels, ADA Handbars, TV stands or any other wall anchorage point. Anchorage through gypsum board on new walls is not acceptable.

Contractor to obtain any and all required building and construction permits associated with the work included in these Construction Drawings.

Contractor to verify that site conditions are similar to the plans. Any discrepancies that arise from varying site conditions shall be reported to the Owner prior to construction. Contractor assumes all liability for construction of project using Construction Drawings.

DESIGN CRITERIA

CODE: 2012 International Residential Code (2012 IRC)
BUILDING TYPE: Light Framed Wood, Single-Family Residential Structure
LOADS:

Dead Loads:
Roof- 22 PSF
Floor- 32 PSF

Live Loads:
Roof- 20 PSF
First Floor & Stairs- 100 PSF

Snow Loads:
Ground Snow Load (Pg)- 15 PSF
Roof Snow Load (Ps)- 15 PSF
Snow Roof Slope Factor (Cs)- 1.0
Importance Factor (Is)- 1.0

Wind Loads: (ASCE 7-05)
Basic Wind Speed (3 sec gusts)- 100 MPH
Exposure- C
Importance Factor (Iw)- 1.0

Seismic Load: (ASCE 7-05)
Importance Factor (Ie)- 1.0
Seismic Use Group- II
Seismic Soil Profile Type- D
Seismic Design Category- B
Basic Seismic Force Resisting System- Light Framed Walls w/ Shear Panels
Seismic Response Modification Factor (R)- 6.5
Analysis Procedure Used- Equivalent Lateral Force

Soils:
Undisturbed Earth- 2,500 PSI
Bedrock- 25,000 PSI

FIRE SPRINKLER: No
FIRE ALARM SYSTEM: Yes

**HOME ADDITION
SAMPLE PLANS
NOT FOR CONSTRUCTION**

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COVER SHEET

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| A.0: Cover Sheet | A.8: Framing Plan |
| A.1: Site Plan | A.9: Framing Details |
| A.2: Main Level Floorplan | A.10: Framing Details |
| A.3: Demo Floorplan | S.1: Foundation Plan |
| A.4: Building Elevations | S.2: Foundation Details |
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UTILITY LOCATE

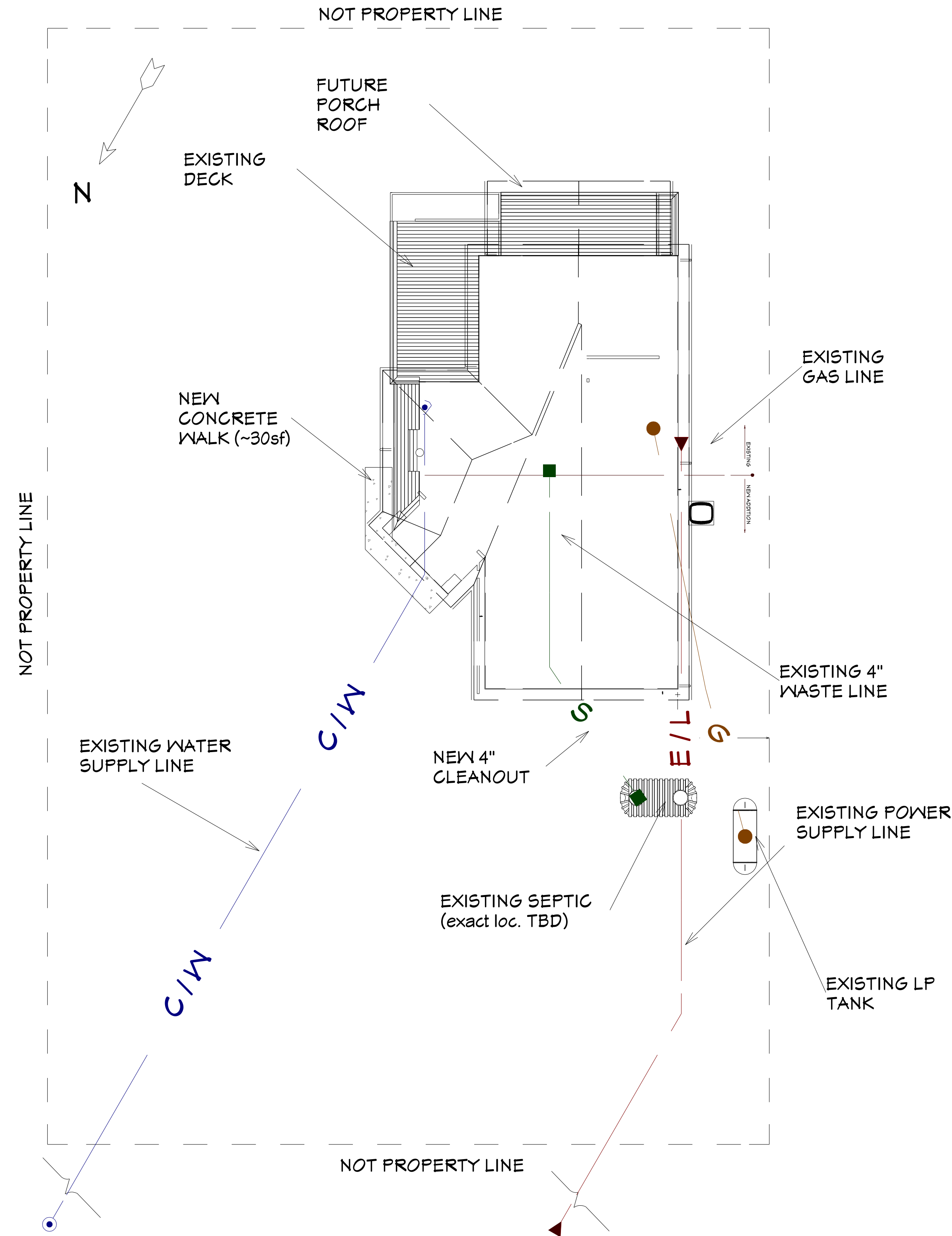
Prior to excavation Contractor to schedule a utility locate.
Phone number: 811 or 1-800-522-6543

Erosion Control Notes:

1. Install silt fence prior to any excavation or construction.
2. Minimize site disturbance by tight control of excavation limits.
3. All exposed soil shall be mulched with straw or wood chips to minimize soil erosion. No soil shall be left in an exposed condition. It is recommended that the contractor maintain a stock pile of this material on site for quick application.
4. Hydroseed with a wood cellulose fiber mulch applied at a rate of 2,000#/acre. Use an organic tackifier at no less than 150 #/acre or per manufacturer's recommendation if higher. Application of tackifier shall be heavier at edges, in valleys and at crests of banks and other areas where seed can be moved by wind or water.
5. Dispersion trenches shall overflow onto native undisturbed ground. No site disturbance below trenches.

Grading notes:

1. Contractor to verify location of all existing utilities.
2. Provide positive drainage away from building.
3. Final grade to convey surface drainage toward rock channels and dispersion trenches.
4. Areas to be filled shall be cleared, grubbed to remove trees, vegetation, roots and other objectionable material and stripped of topsoil.
5. Place fill slopes with a gradient steeper than 3:1 in lifts not to exceed 8 inches, and make sure each lift is properly compacted.



Site Plan
Scale: 1"=10'

SHEET NOTES:

- Final grade to slope 1" per 10'-0" away from the house for the first 10'-0".
- All concrete pads to slope at 2% or 1/4" per 1' away from building.
- General Contractor responsible for all utility locates and subsurface utility engineering for this project.
- General Contractor responsible for contacting Site Wise prior to digging for utility locate service. Call 811 or 1-800-522-6543
- General Contractor to immediately notify Site Wise if un-located utilities are encountered.
- Drives and walks to be 4" concrete, minimum 3,000 psi at 28 days.
- The General Contractor shall be responsible for repairing any trenches or excavations that settle for a minimum of 1 year.
- The General Contractor shall prevent sediment, debris and all other pollutants from entering the storm sewer system during all construction operations.

LEGEND	
WATER SUPPLY LINES	
	C/W
SANITARY SEWER LINES	
	S
ELECTRICAL SERVICE	
	E/L
GAS LINE	
	G

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SITE PLAN

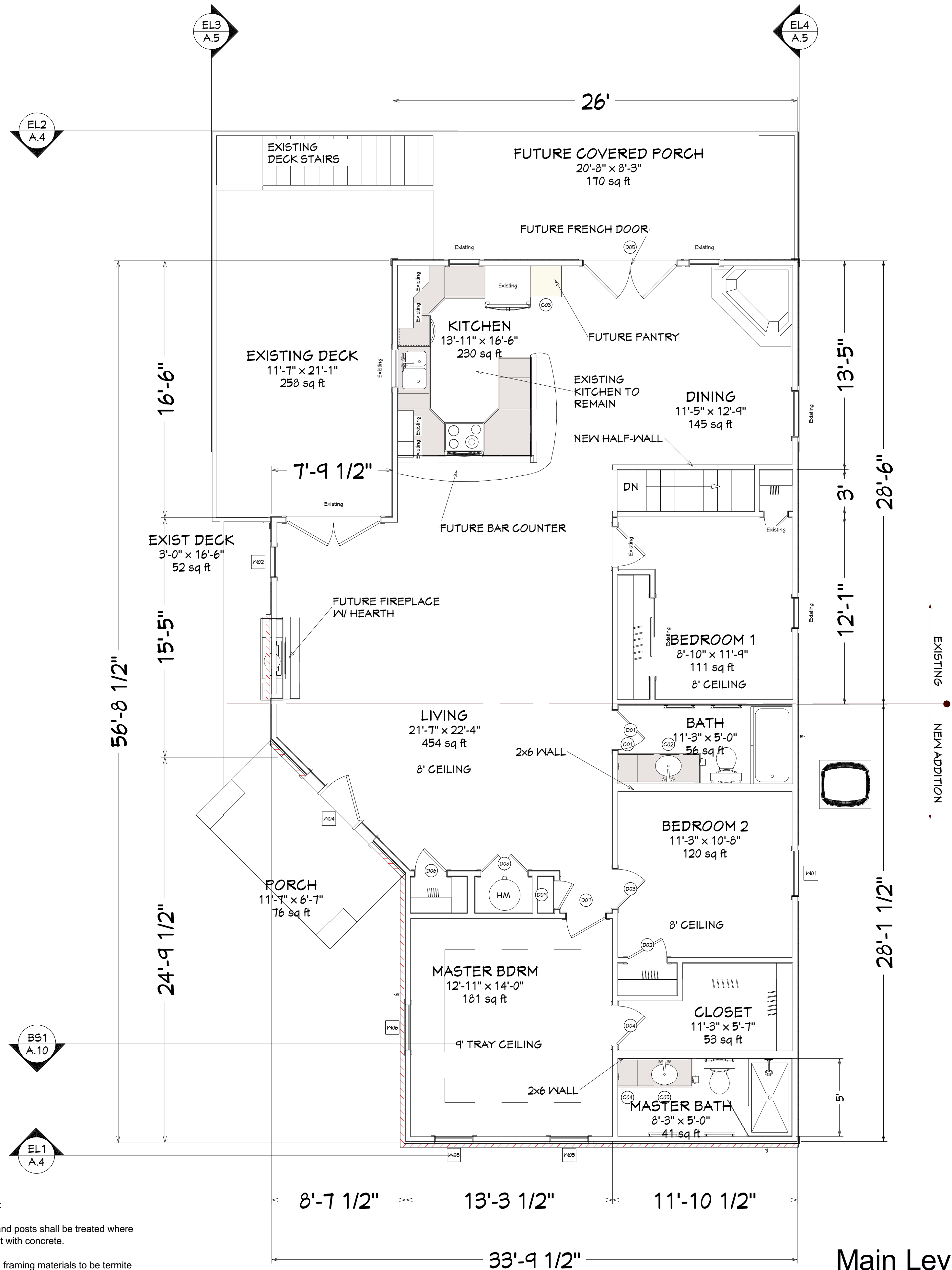
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PROJECT NOTES:

- Foundation**
- Perimeter Footing: 24"x21" cont. min. 3,500 psi @28 days
 - Interior Footing: 18"x16", min. 3,500 psi @ 28 days
 - CMU Core Fill: 4,000 psi @ 28 days
 - Drives/Walks: 4" concrete slab, min. 3,000 psi @ 28 days
- Framing**
- Exterior walls to be framed with 2"x6" lumber 16" OC.
 - Interior partition walls to be framed with 2"x4" lumber 16" OC.
 - Ceiling joist framing to be 2"x6" lumber 16" OC.
 - Roof ridges to be 2"x12"
 - Roof rafters to be 2"x10" lumber 16" OC.
 - Roof hip-rafters to be 2"x12" lumber.
 - Window/Door headers to be 3=2"x12" lumber with 2= 7/16" OSB filler.
 - Attic walls/perlins to be framed with 2"x4" lumber 16" OC
- Exterior Veneer**
- Wall Veneer: Siding / Masonry
 - Fascia: 7-1/2"
 - Soffit: 18" vented
 - Porch Ceiling: 4'x8' Soffit Beaded Porch Panels
- Roofing**
- Dimensional Architect Asphalt Shingle
 - Gutters to be 5" (6" ok) seamless metal gutters.
- Electrical**
- All electrical fixtures to be Energy Star rated.
 - All ceiling fans to be Energy Star rated.
 - All bath fans to be Energy Star rated.
 - All recessed light fixtures to have compact fluorescent bulbs.
 - All switches to be toggle switches.
- Insulation**
- Wall insulation to be min. R-20 Kraft faced batt insulation.
 - Rafter Insulation to be min R-38 Kraft faced batt insulation (vaulted ceilings only)
 - Ceiling Joist Insulation to be min. R-38 Kraft-faced batt insulation.
- Drywall**
- Install 1/2" on new framed interior partition walls, to be screwed, mud, taped and textured.
 - Install 5/8" Type-C ceiling rock on ceiling surfaces, mud, taped and finished.
 - Install 1/2" moisture board in shower area, as required by building code.
 - All corners to be "radius" edging.
 - Drywall to wrap to windows.
 - All walls and ceilings to have "knock-down" texture.
- Flooring**
- Install tile flooring in all Bath and Entry areas.
 - Install carpet in Bedrooms.
 - Install laminate hardwood flooring in Hall, Dining and Living room.
 - Utility Room areas to have unfinished concrete floor.
- Windows**
- Install white vinyl, Energy Star compliant, windows on all floors.
 - Bedroom windows to meet egress requirements.
 - All windows to be sealed with minimum expansion foam.
- Doors**
- Install Energy Star compliant exterior Entry and rear doors.
 - Front and rear doors keyed alike.
 - All doors to be sealed with minimum expansion foam.
 - Utility Room walk doors to be self-closing with spring loaded hinges.
- Cabinetry**
- Install adult height vanity cabinets in all Bathrooms.
 - Kitchen cabinets to be installed as shown in details.
- Countertops**
- Install Formica with 4" backsplash, under-mount sink in all Baths, as shown.
 - Counters to have 'eased edge' and bullnose edging.
- Appliances**
- All appliances to meet or exceed Energy Star standards.
 - Appliances to be installed per Manufacturer's installation instructions.
- Interior Millwork**
- All base molding to be 5-1/2" paint grade wood molding.
 - All casing to be 3-1/2" paint grade wood molding.
 - Install paint-grade wood closet shelves w/ heavy duty hangar rods, as shown.
 - Install new 2-panel solid-core, paint grade interior doors throughout, as shown.
- Paint**
- All Kitchens, Baths, Garages and Laundry rooms to be painted with semi-gloss paint. One coat primer, two coats paint.
 - All Living, Dining, Hall, Entry, Closet and Bedrooms to be painted with satin/eggshell paint. One coat primer, two coats paint.
 - All trim moldings and doors to be stained with gloss or semi-gloss stain. One coat primer, two coats paint.
 - All Exterior paint to be painted with semi-gloss paint. Three coats paint. 100% Acrylic
 - All Exterior trim and doors to be painted with gloss paint. Three coats paint. 100% Acrylic
- Hardware**
- Install new door hardware on all interior doors.
 - Install new towel bars, TP holders and other bath accessories in Bathrooms, fixture location to be verified with Owner.
 - Install new beveled vanity mirror in Baths.

- SHEET NOTES:**
- All wall lumber and posts shall be treated where comes in contact with concrete.
 - All first floor wall framing materials to be termite treated.
 - No roof penetrations allowed on street facing roof planes. All roof penetrations to be located in rear of home where possible.



Main Level Floor Plan
Scale: 1/4"=1'

LIVING AREA	
Existing Main Level Area:	787 S.F.
Existing Lower Level Area:	380 S.F.
New Addition Area:	690 S.F.
Future Covered Porch Area:	170 S.F.
Existing Deck Area:	340 S.F.
New Deck Area:	43 S.F.
Total H/C Area:	1,857 S.F.
Total Footprint:	2,400 S.F.

Building Contractor/Home Owner
To review and verify all dimensions,
Specs, and connections before
Construction begins.

Electrical system code: sec.2701
Mechanical system code: sec.2801
Plumbing system code: sec.2901

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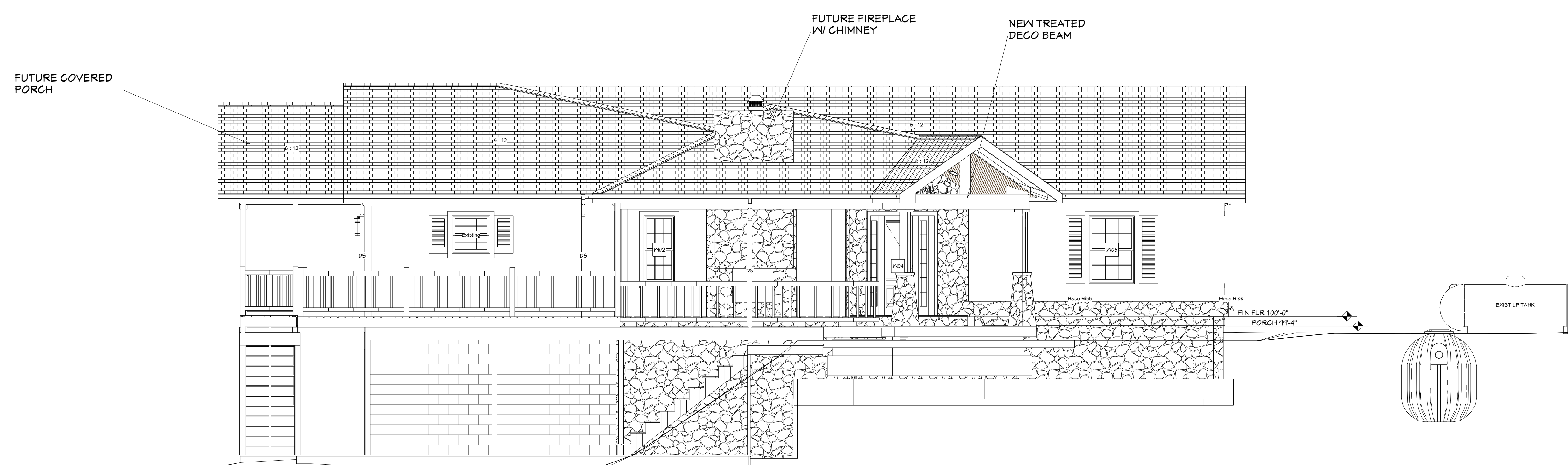
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FLOOR PLAN
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**HOME ADDITION
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EL1
A.4 North Elevation
Scale: 1" = 5'

- EXTERIOR FINISH NOTES:**
1. Exterior finish to be siding over 7/16 OSB ply. Window & door trim cedar. Material and color by owner.
 2. Roofing to be dimensional asphalt over 30# felt, 7/16" OSB ply.
 3. Final Decking material and color by Owner.
 4. Downspouts to be collected and roof run off to be directed away from structure per the site plan.
 5. Finish grade shall slope away from structure min. 1" per foot of run for 10' min.

- ROOFING NOTES:**
- Main Roof: 6:12 (Match Existing)
 - Gutters: 5" (6" ok) Seamless Metal Gutters
 - Roofing: Dimensional Architect Asphalt Shingle



EL2
A.4 South Elevation
Scale: 1" = 5'

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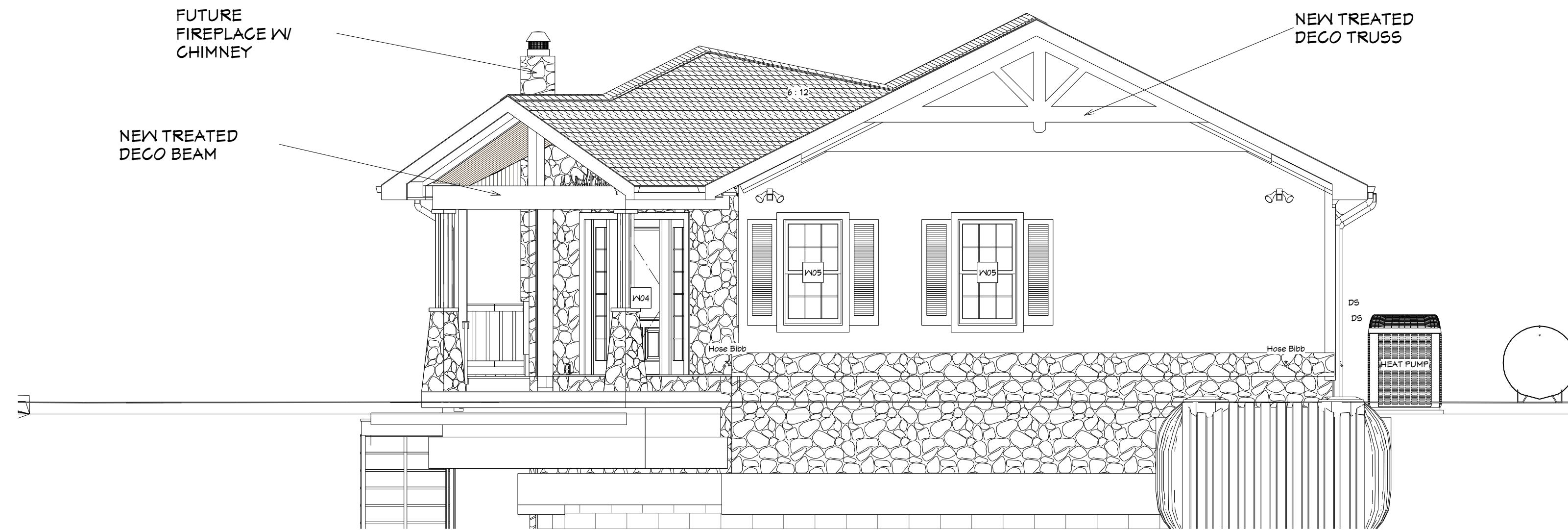
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EXTERIOR
ELEVATIONS

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A.4



EL3
A.5 **West Elevation**
Scale: 1/4" = 1'

EXTERIOR FINISH NOTES:

1. Exterior finish to be siding over 7/16 OSB ply. Window & door trim cedar. Material and color by owner.
2. Roofing to be dimensional asphalt over 30# felt, 7/16" OSB ply.
3. Final Decking material and color by Owner.
4. Downspouts to be collected and roof run off to be directed away from structure per the site plan.
5. Finish grade shall slope away from structure min. 1" per foot of run for 10' min.

ROOFING NOTES:

Main Roof : 6:12 (MATCH EXISTING)
Gutters: 5" (6" ok) Seamless Metal Gutters
Roofing: Dimensional Architect Asphalt Shingle



EL4
A.5 **East Elevation**
Scale: 1/4" = 1'

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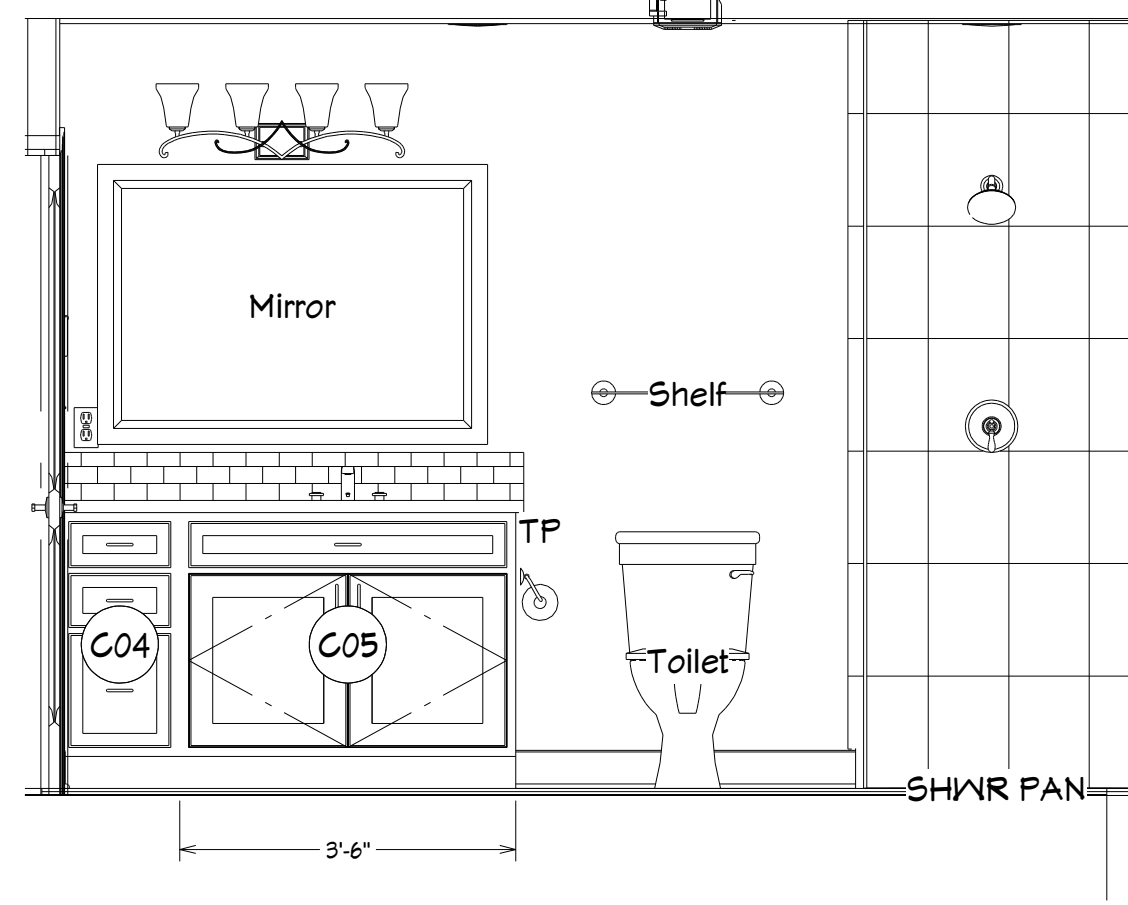
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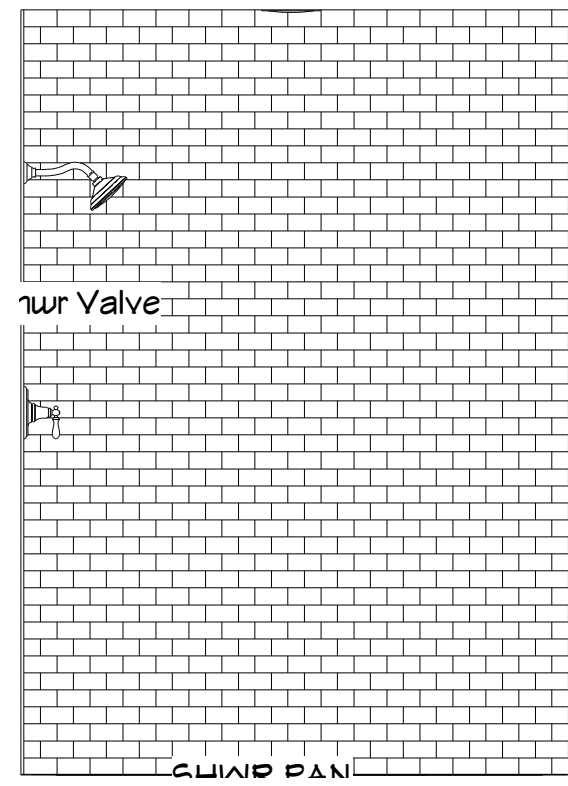
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ELEVATIONS

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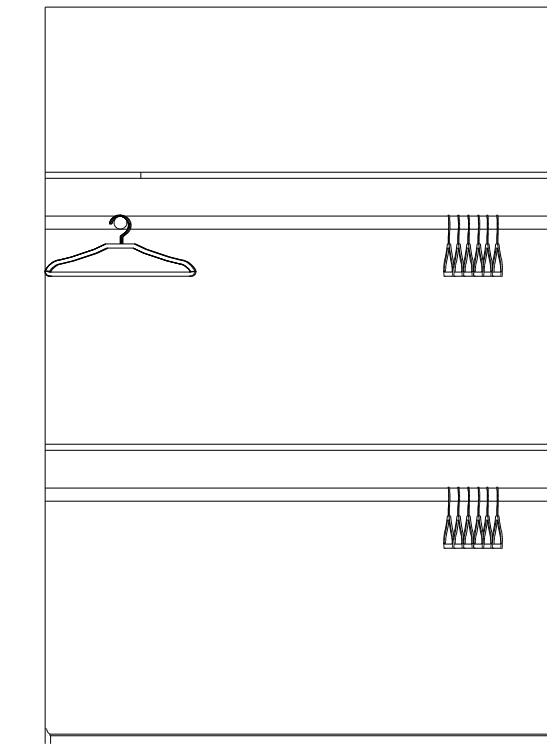
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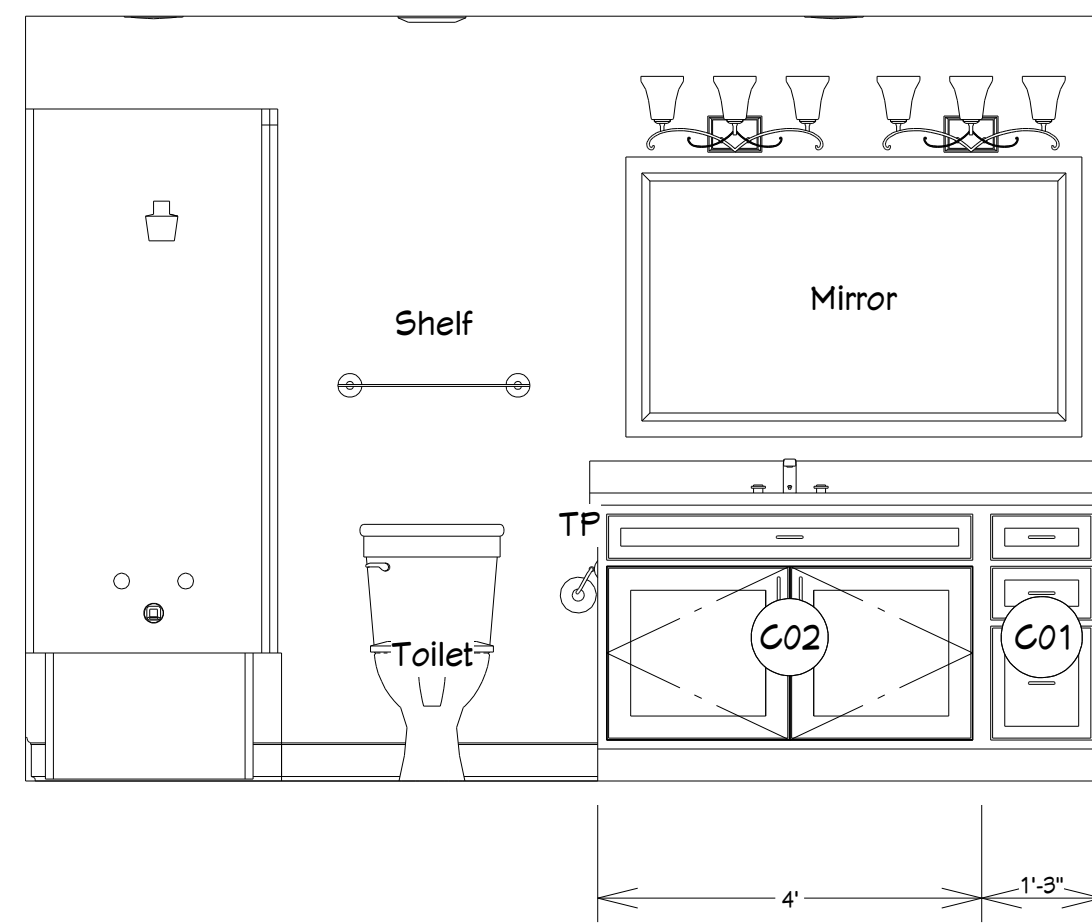
Master Bath
Elevation



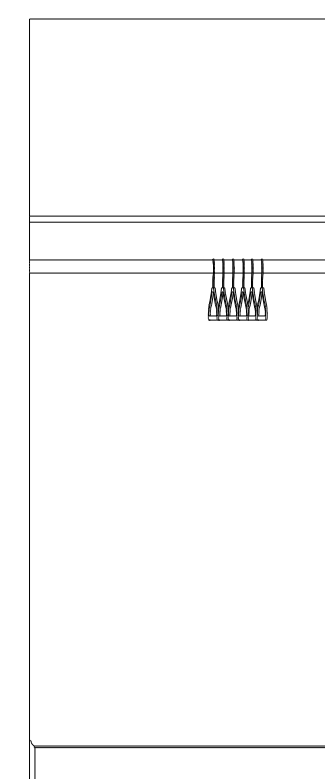
Master Bath
Elevation



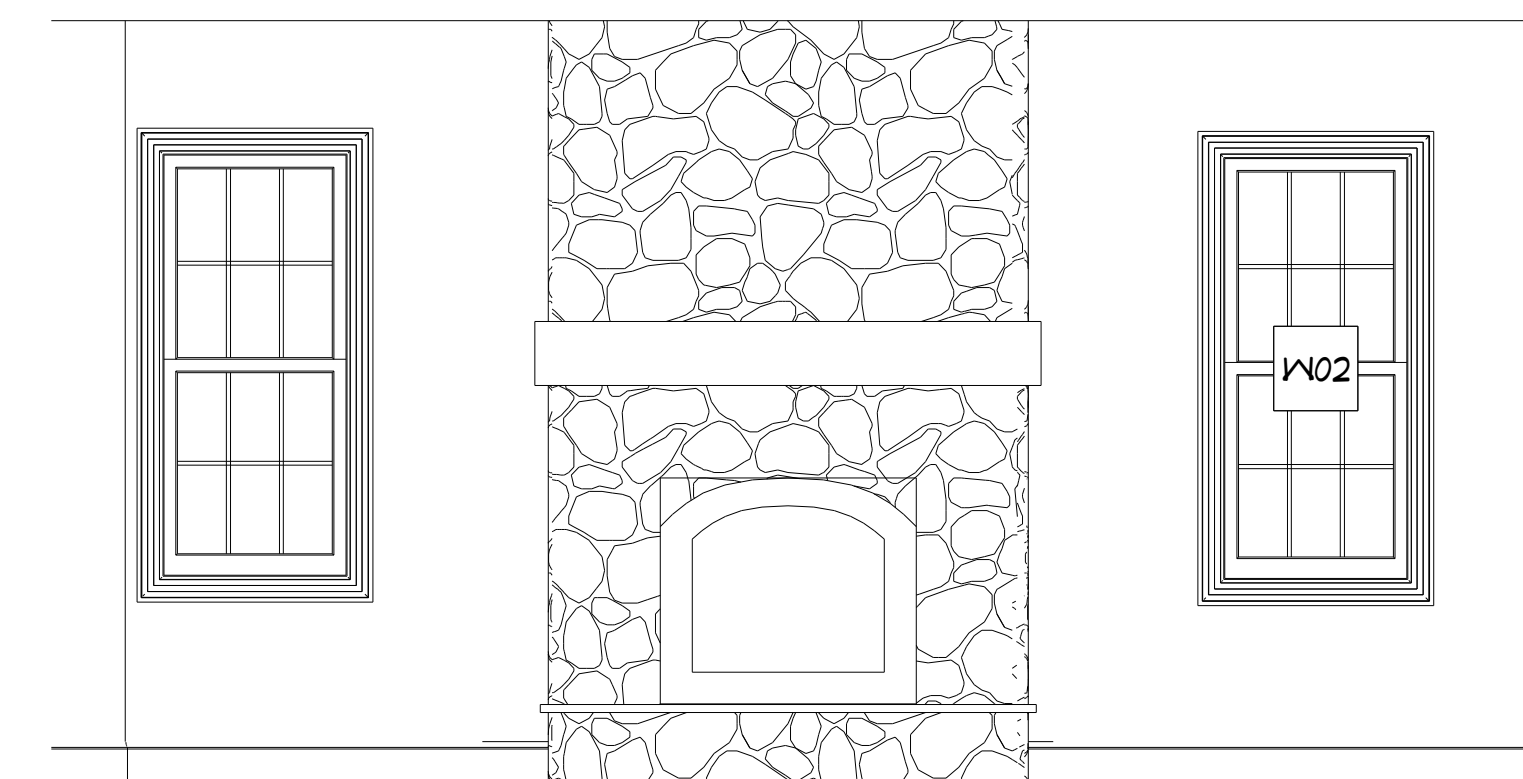
Master Closet
Elevation



Hall Bath
Elevation



Bed Closet
Elevation



Future
Fireplace
Elevation

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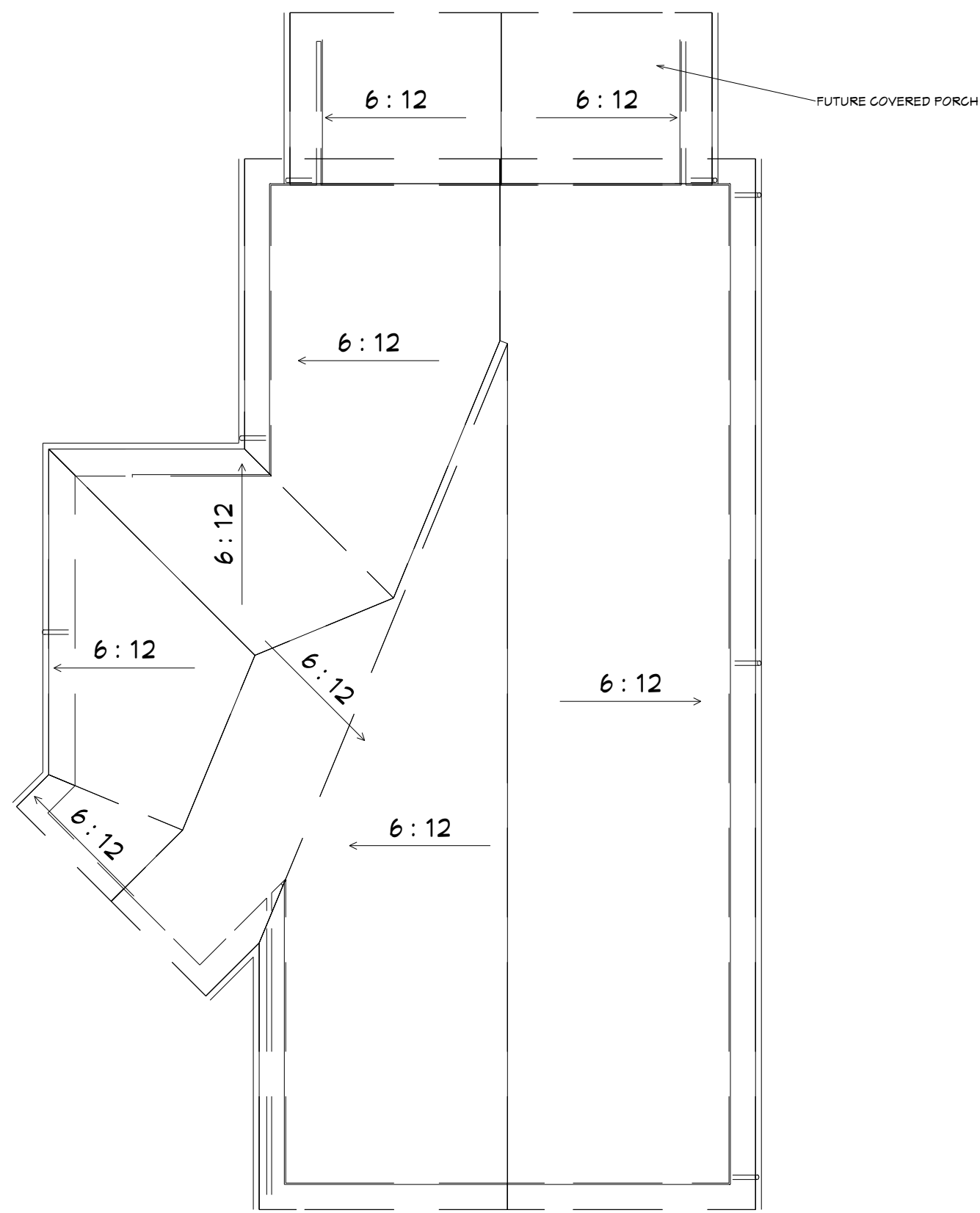
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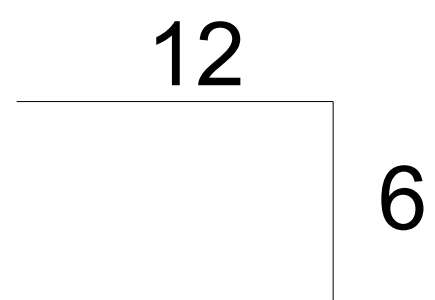
INTERIOR
ELEVATIONS

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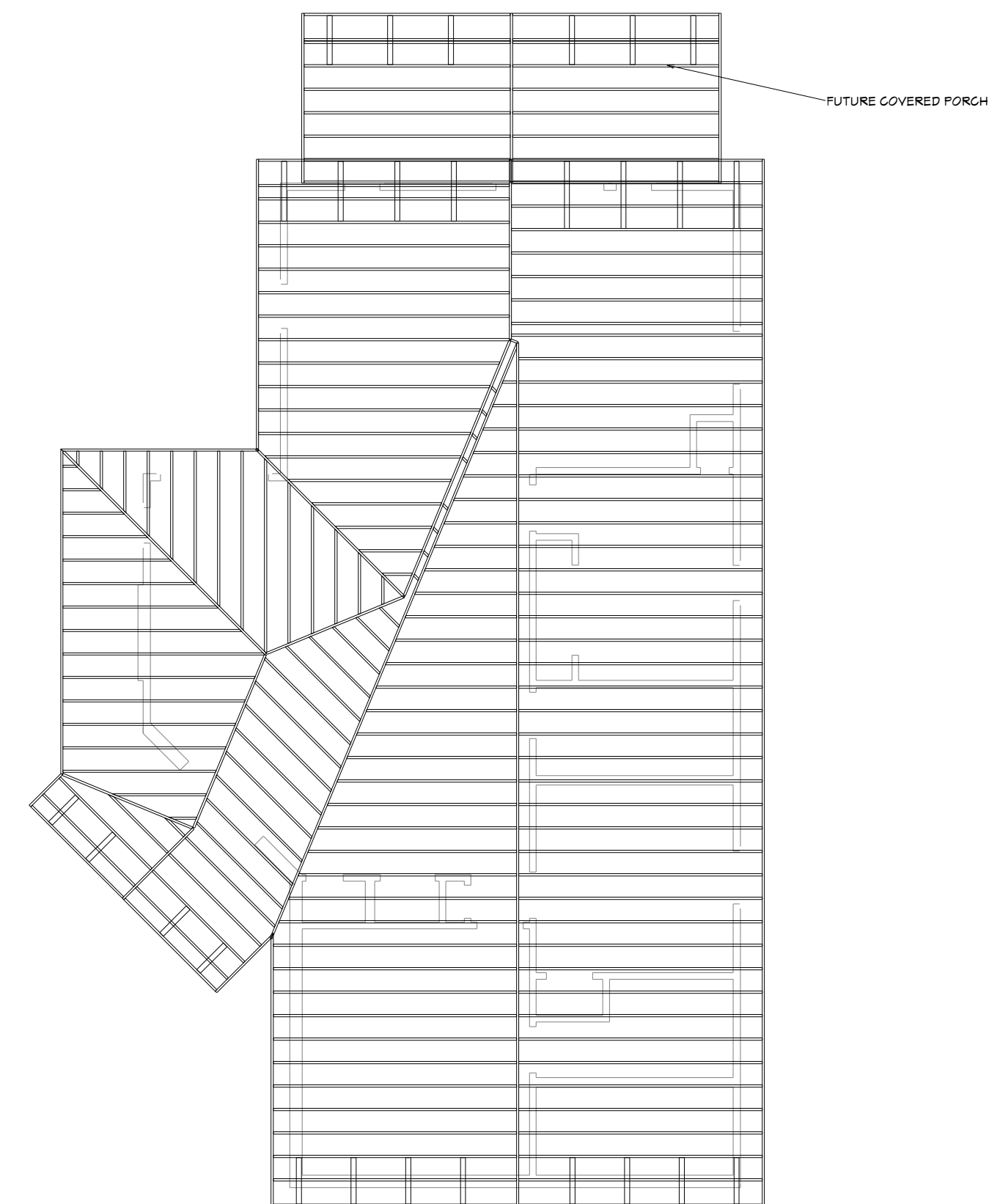
Roof Plan
Scale: 1/8"=1'



DOOR SCHEDULE										
NUMBER	FLOOR	ROOM NAME	QTY	LABEL	SIZE	WIDTH	HEIGHT	THICKNESS	TEMPERED	COMMENTS
D01	2	BATH/LIVING	1	2668	2668 L IN	30"	80"	1 3/8"		
D02	2	BEDROOM 2/CLOSET	1	2668	2668 L IN	30"	80"	1 3/8"		
D03	2	BEDROOM 2/LIVING	1	2668	2668 R IN	30"	80"	1 3/8"		
D04	2	CLOSET/MASTER BDRM	1	2668	2668 R IN	30"	80"	1 3/8"		
D05	2	DINING/FUTURE COVERED PORCH	1	6068	6068 L/R EX	72"	80"	1 3/4"	YES	
D06	2	CLOSET/LIVING	1	2068	2068 R IN	24"	80"	1 3/8"		
D07	2	LIVING/MASTER BDRM	1	2668	2668 L IN	30"	80"	1 3/8"		
D08	2	UTILITY/LIVING	1	3068	3068 L/R IN	36"	80"	1 3/8"		
D09	2	CLOSET/LIVING	1	1968	1968 R IN	21"	80"	1 3/8"		

WINDOW SCHEDULE										
NUMBER	FLOOR	ROOM NAME	QTY	LABEL	SIZE	WIDTH	HEIGHT	EGRESS	TEMPERED	COMMENTS
W01	2	BEDROOM 2	1	3046DH	3046DH	36"	54"	YES		
W02	2	LIVING/EXIST DECK	1	2046DH	2046DH	24 1/4"	54"			
W04	2	LIVING/PORCH	1	6068MU	6068	72"	80"			
W05	2	MASTER BDRM	2	2646DH	2646DH	30"	54"	YES		
W06	2	MASTER BDRM	1	3046DH	3046DH	36"	54"			

CABINET SCHEDULE											
NUMBER	FLOOR	ROOM NAME	QTY	LABEL	WIDTH	DEPTH	HEIGHT	LEFT SIDE	RIGHT SIDE	BACK SIDE	COMMENTS
C01	2	BATH	1	3DB1522	15"	22"	36"	UNFINISHED	UNFINISHED	UNFINISHED	
C02	2	BATH	1	5B4822	48"	22"	36"	FINISHED	UNFINISHED	UNFINISHED	
C03	2	KITCHEN	1	U242493R	24"	24"	93"	UNFINISHED	FINISHED	UNFINISHED	
C04	2	MASTER BATH	1	3DB1521	15"	21"	36"	UNFINISHED	UNFINISHED	UNFINISHED	
C05	2	MASTER BATH	1	5B4221	42"	21"	36"	UNFINISHED	FINISHED	UNFINISHED	



Roof Framing Plan
Scale: 1/8"=1'

FRAMING NOTES:

- Walls:**
 Exterior Walls: 2"x6" 16" OC
 Interior Partition Walls: 2"x4" 16" OC
 Wall Sill Plate: 2"x4"/2"x6" (treated on 1st level)
 Window Headers: 3= 2"x12" w/ 2= 7/16" OSB, glued and nailed
 Exterior Sheathing: 7/16" OSB Ply
 Fire Blocking: 2"x6"
- Ceilings:**
 Ceiling Joists: 2"x6" 16" OC
 Ceiling Beams: 2=2"x12" Microlam LVL, glued and nailed
- Roof:**
 Ridge: 2"x14" Microlam LVL
 Rafters: 2"x12" 16" OC
 Hip Rafter: 2"x12"
 Roof Posts: 2=2"x6", glued and nailed
 Roof Decking: 7/16" stepped OSB ply w/ clips
- Attic:**
 Walls: 2"x4" 16" OC
 Perlins: 2"x4" 16" OC
 Beams: 2=2"x12" Microlam LVL, glued & nailed

ROOF FRAMING NOTES:

- Truss drawing is for illustration only. All trusses shall be installed & braced to manufacturer's drawings & specifications.
- All trusses shall carry manufacturer's stamp.
- All trusses will not be field altered without prior building dept. Approval of engineering calculations.
- All trusses shall have design details & drawings on site for framing inspection.
- All connections of rafters, jack or hip trusses to main girder to be provided by truss manufacturer.
- All roof framing 16" o.c.
- All overhangs 16".
- Install polyisocyanurate foam type insulation at floor and plate lines, openings in plates, corner stud cavities and around door and window rough opening cavities.
- Attic ventilation: required above house.
- Wall headers: (2) 2 x 10 DF 2 typ. Uno
- Roof & floor truss manufacturer: TBD

SHEET NOTES:

- All first level wall lumber and posts shall be treated where comes in contact with concrete.
- All first level wall framing materials to be termite treated.
- All strapping to be Simpson Strong Ties or equivalent.
- All strapping, anchors and/or connectors to be Z-max rated when in contact with concrete or treated lumber.
- 2"x6" Fire-blocking installed in all exterior and fire walls.

HEADER SCHEDULE

SPAN	SIZE	HEADER CONNECTION	JACK STUD	KING STUD
<3'-4"	(2) 2"x12"	2 Rows 16d @ 6" OC Staggered	(2) 2"x4"	(2) 2"x4"
<6'-4"	(2) 2"x12"	4 Rows 16d at 6" OC Staggered	(2) 2"x4"	(2) 2"x4"
<12'-4"	(3) 2"x12" LVL	4 Rows 16d at 6" OC Staggered	(2) 2"x6"	(2) 2"x6"
Garage	6"x12" Glulam		(2) 2"x6"	(2) 2"x6"



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