JUPITER INLET COLONY
BUILDING AND ZONING COMMITTEE MEETING
07.30.20

VIA TELECONFERENCE

Date & Time: Thursday, July 30, 2020 at 05:00 PM Eastern Time

Location: Town Hall, 50 Colony Road, Jupiter Inlet Colony, FL

Join by Zoom: https://zoom.us/join

OR dial-in by your location:

+1 312 626 6799 US	+1 346 248 7799 US
+1 929 205 6099 US	+1 669 900 6833 US
+1 301 715 8592 US	+1 253 215 8782 US

Meeting ID: 585 628 8134

Passcode: 3787

Please mute your device until you are ready to speak.

AGENDA

1. Call to Order.

2. Roll Call: Earl Fischer (Chair), Russell Bourne (Vice Chair), Lisa Hines, Butch Harper, Thom Faiola, William Gilbane (alternate). Building and Zoning Administrator: Bill Whiteford

3. Text Amendment. Recommendation to the Town Commission regarding a Zoning Code text amendment, Section 10.1. - Development standards for single family residences., Subsection (F) *New construction and additions* (new heading).

4. #193 Shelter Lane - major renovation. Add second floor to existing one-story residence. Total under air: 3,584 sf. Total square footage: 4,168 sf. Lot occupancy calculation: 50% (50% allowed). Maximum building height: 25' (25' allowed).

5. Any Other Matters.

6. Motion to Adjourn.

STATE MANDATED STATEMENT

If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town Administrative Office at 50 Colony Road, Jupiter Inlet Colony, FL 33469, or by telephone at 561-746-3787, prior to the meeting.

Section 10.1. - Development standards for single family residences.

(A) ***Mass and Volume Distribution.*** Because lots within the town are limited in size, the massing and volume of any new residential building or addition should be sensitive to the profiles of adjacent buildings and should locate second stories adequately to reduce the apparent overall scale of the building.

(B) ***Setbacks.*** The first story of all buildings shall adhere to established zoning setbacks. The second story of any two-story residence shall be setback on its front elevation a minimum of thirty-two (32) feet from the front property line and on its rear elevation a minimum of fifteen (15) feet from the rear property line.

(C) ***Lot Occupancy****.* Overall lot occupancy shall be governed by the provisions of Section 10(C) of the Zoning Code.

(D) ***Building elevations.*** All building elevations shall provide for a minimum of ten (10) percent wall openings. Wall openings are defined as windows, doors or transitional spaces defined by porches, porticoes or colonnades. New windows shall be placed to avoid direct views into existing neighboring windows. Open air balconies shall be permitted a) only on the front and rear of a second story of a two-story residence on Lots 1-24, 75-107 and 241-243, inclusive and b) on all other lots, only on the front, or the side street side, if a corner lot, of the structure, or in the rear of the structure, provided, the rear most portion of the balcony is a minimum of twenty (20) feet from the rear lot line.

(E) ***Lot coverage by buildings and maximum floor area regulations for two-story residence.*** The maximum percentage of lot coverage by buildings for a two-story residence shall be thirty-two (32) percent.

(1) The floor area of the second story of a two-story residence shall not exceed sixty (60) percent of the first story floor area.

(2) The total floor area for the combined first floor and second floor of a two-story residence shall not exceed fifty (50) percent of the total lot area.

(F) ***New construction and additions.*** The restrictions in this section pertaining to second story setbacks, wall openings, open air balconies, maximum percentage of lot coverage by buildings, and the maximum floor area of a second story and total combined first and second story floor area shall apply to new construction. ~~and to the renovation of or an addition to an existing structure that seeks to add a second story to the same.~~ A second story may be added to an existing one-story residence that had obtained a certificate of occupancy on or before January 11, 2017, provided

(1) the percentage of lot coverage by buildings does not exceed forty (40%) percent; and

(2) the second story addition otherwise complies with all other provisions of this Section; and

(3) The floor area of a second story addition shall not exceed sixty (60) percent of the first-story floor area, based on maximum percentage of lot coverage by buildings of 32%.

A RENOVATION FOR MICHELE & JAY GOETSCHIUS

193 SHELTER LANE
JUPITER INLET COLONY 33469

PROPOSED FRONT ELEVATION
SCALE 1/4"=1'-0"

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REVISIONS

A RENOVATION @:
MICHELE & JAY GOETSCHIUS
193 SHELTER LANE
JUPITER, FLORIDA
33469

J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

DRAWN: G.R.G.
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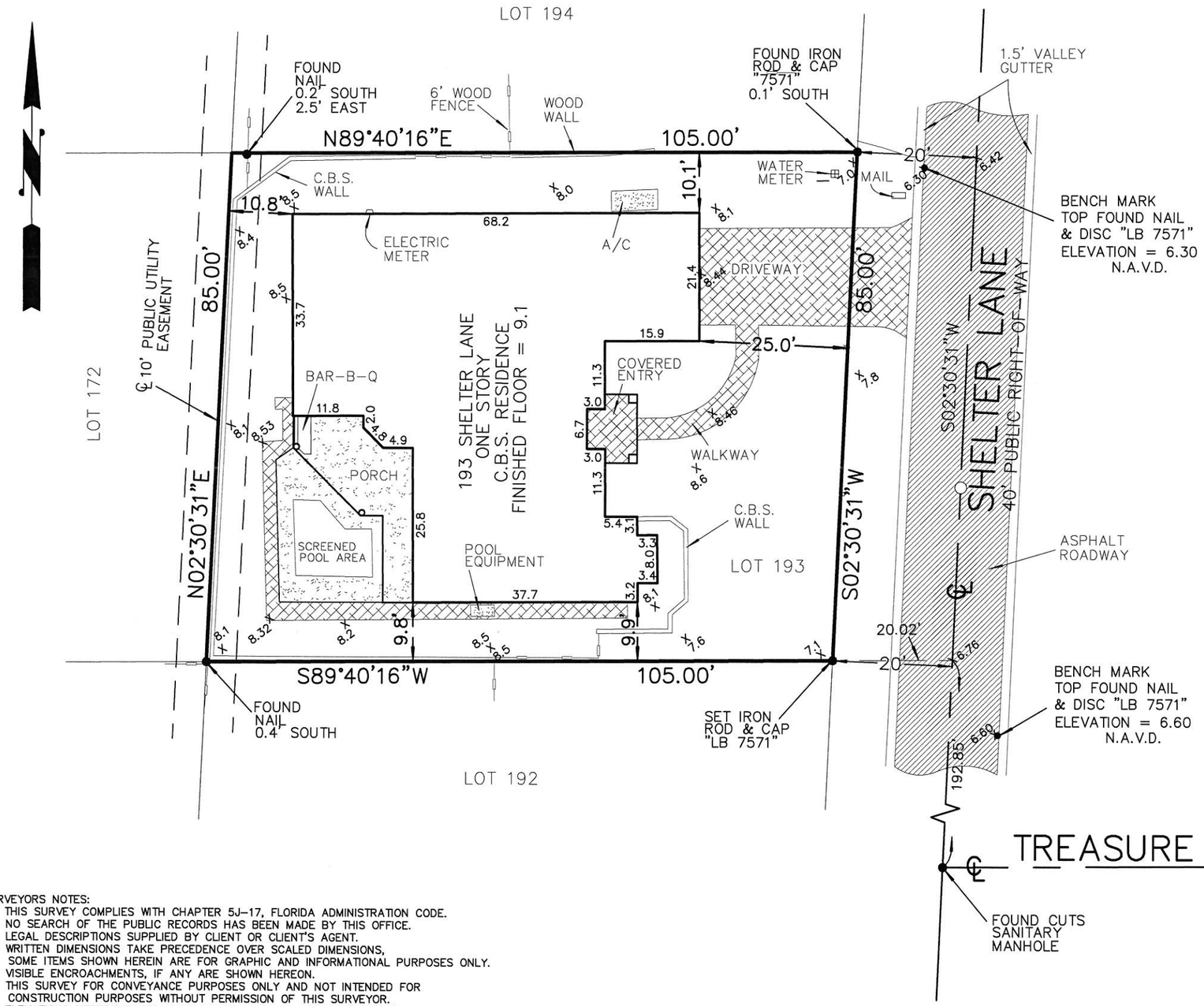
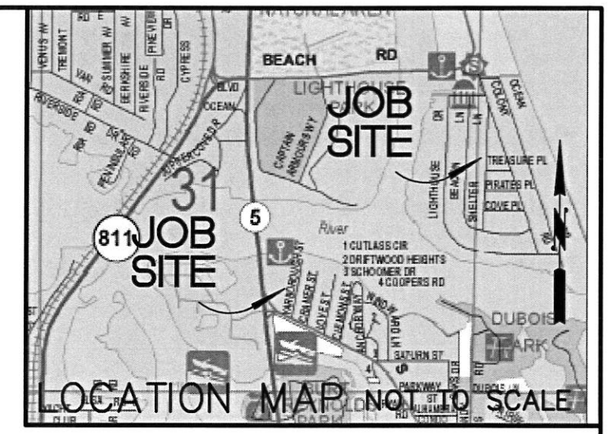


LEGEND:

℄ = CENTERLINE
calc = CALCULATED
meas = MEASURED
= CONCRETE
= BRICK PAVERS
= ELEVATIONS



LEGAL DESCRIPTION

OFFICIAL RECORDS BOOK 27888, PAGE 902
LOT 193, JUPITER INLET BEACH COLONY, A SUBDIVISION OF JUPITER ISLAND, PALM BEACH COUNTY, FLORIDA, ACCORDING TO THE PLAT THREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT, IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 24, PAGE 139.
CONTAINING 8914 SQUARE FEET MORE OR LESS

PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP 125120 0179 F DATED OCTOBER 5, 2017

SURVEYORS NOTES:
1. THIS SURVEY COMPLIES WITH CHAPTER 5J-17, FLORIDA ADMINISTRATION CODE.
2. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS OFFICE.
3. LEGAL DESCRIPTIONS SUPPLIED BY CLIENT OR CLIENT'S AGENT.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS, SOME ITEMS SHOWN HEREIN ARE FOR GRAPHIC AND INFORMATIONAL PURPOSES ONLY.
5. VISIBLE ENCROACHMENTS, IF ANY ARE SHOWN HEREON.
6. THIS SURVEY FOR CONVEYANCE PURPOSES ONLY AND NOT INTENDED FOR CONSTRUCTION PURPOSES WITHOUT PERMISSION OF THIS SURVEYOR.
7. ELEVATIONS HEREON BASED ON NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988)
8. NO UNDERGROUND UTILITIES LOCATED EXCEPT WHERE SHOWN HEREON.
9. THIS IS NOT AN ENVIRONMENTAL SURVEY.
10. THIS SURVEY DOES NOT GUARANTY OWNERSHIP OR RIPARIAN RIGHTS BEYOND MEAN HIGH WATER LINE.
11. BEARINGS HEREON BASED ON THE GRID BEARING OF S02°30'31"W ALONG THE CENTERLINE OF SHELTER LANE AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
12. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
13. FORM BOARD TIE-IN & UNDER CONSTRUCTION TIE-IN SURVEYS INTENT IS TO SHOW SETBACK COMPLIANCE; OWNER AND/OR CONTRACTOR ACCEPTS RESPONSIBILITY FOR PLACEMENT OF FORMBOARDS UPON RECIEPT OF THIS SURVEY. PLUMBING AND OTHER UTILITIES INSTALLED AT CONTRACTORS RISK.
14. THIS SURVEY IS NOT VALID WITHOUT SURVEYORS SIGNATURE & EMBOSSED SEAL, OR A VERIFIABLE ELECTRONIC SIGNATURE IN ACCORDANCE WITH STATE STATUTE 668.001-668.006.

NOTE:
THIS SURVEY PERFORMED WITHOUT BENEFIT OF TITLE

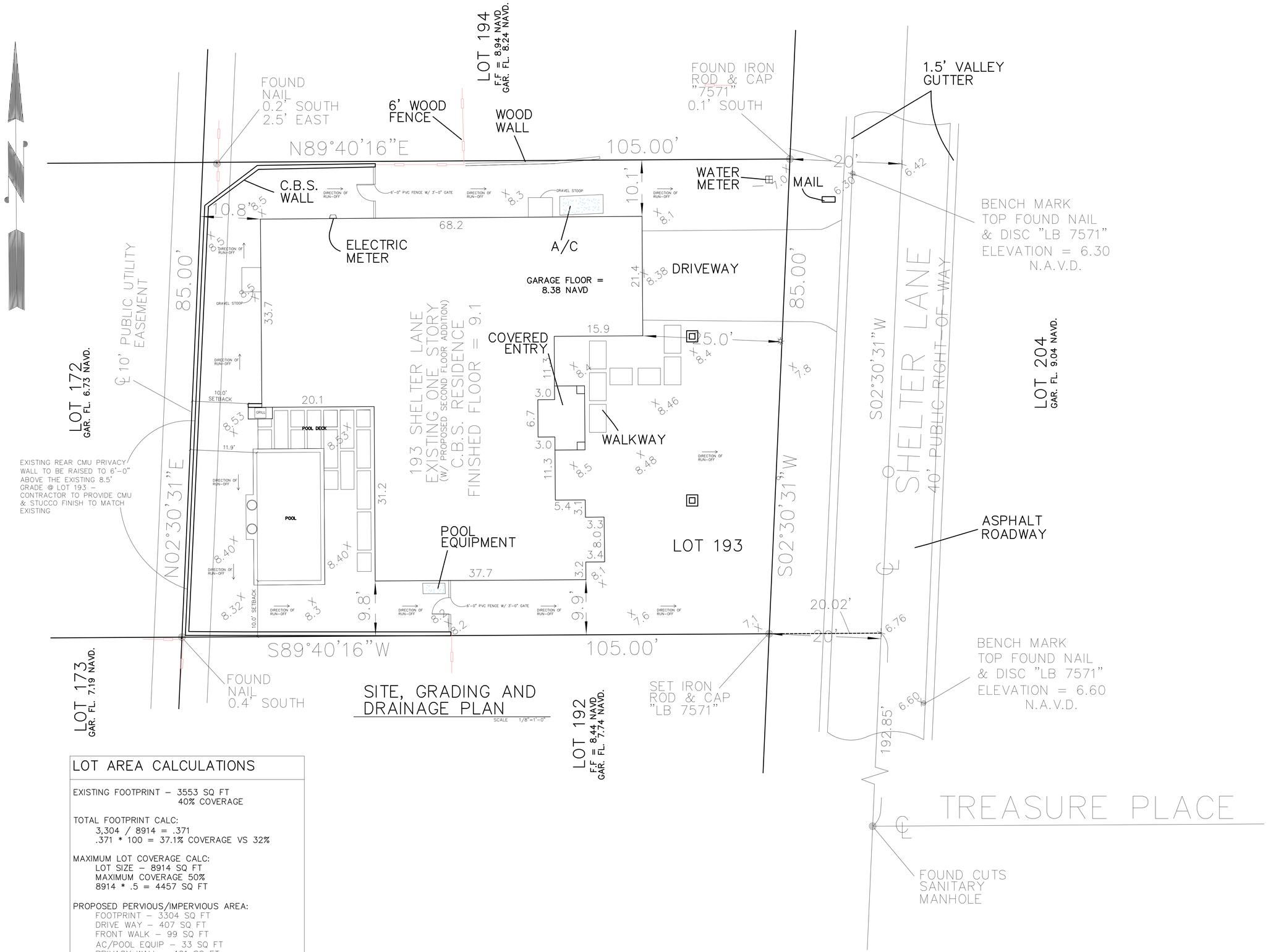
RONALD E. STOTLER
PROFESSIONAL SURVEYOR AND MAPPER
CERTIFICATE NO. 5026
STATE OF FLORIDA

MAGELLAN SURVEYING & MAPPING, INC.
PROFESSIONAL LAND SURVEYORS
LICENSED BUSINESS - 7571
450 S. OLD DIXIE HIGHWAY, SUITE 10
JUPITER, FLORIDA 33458
561-746-8745 FAX 561-746-9632 E-mail info@magellansurveying.com

Boundary Survey

Prepared For: JAMES RAMSEY & MICHELE GOETSCHIUS

Drawn by RES	Date Of Survey	Scale
Field: AB F.B. 168 Pg57	MAY 18, 2020	1"= 20'
REVISIONS:		Drawing Number 20-098



SITE, GRADING AND DRAINAGE PLAN

SCALE 1/8"=1'-0"

LOT AREA CALCULATIONS

EXISTING FOOTPRINT – 3553 SQ FT
40% COVERAGE

TOTAL FOOTPRINT CALC:
3,304 / 8914 = .371
.371 * 100 = 37.1% COVERAGE VS 32%

MAXIMUM LOT COVERAGE CALC:
LOT SIZE – 8914 SQ FT
MAXIMUM COVERAGE 50%
8914 * .5 = 4457 SQ FT

PROPOSED PERVIOUS/IMPERVIOUS AREA:
FOOTPRINT – 3304 SQ FT
DRIVE WAY – 407 SQ FT
FRONT WALK – 99 SQ FT
AC/POOL EQUIP – 33 SQ FT
PRIVACY WALL – 101 SQ FT
POOL – 318 SQ FT
POOL DECK – 170 SQ FT
TOTAL: 4432 SQ FT – 49.7% IMPERVIOUS AREA – 50% MAX

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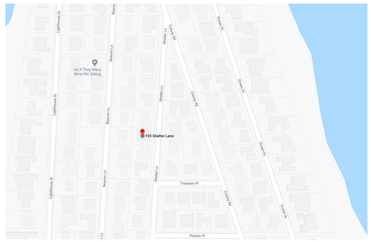


MAP VIEW

AERIAL VIEW

PROJECT LOCATION

SQUARE FOOTAGE TABLE

EXISTING RESIDENCE	
FIRST FLOOR UA	2,706 SQ FT
GARAGE/STORAGE UR	515 SQ FT
LANAI UR	236 SQ FT
ENTRY UR	80 SQ FT
PROPOSED RESIDENCE:	
FIRST FLOOR UA	2,684 SQ FT
SECOND FLOOR UA	910 SQ FT – 27.5% OF FIRST FLOOR – 60% ALLOWED
GARAGE/STORAGE UR	516 SQ FT
ENTRY UR	64 SQ FT
OVER HANG UR	40 SQ FT
TOTAL UNDER AIR:	3,584 SQ FT
TOTAL UNDER ROOF:	4,204 SQ FT – 50% OF SITE AREA OR 4457 SF ALLOWED

GENERAL NOTES:

EXISTING RESIDENCE TO REMAIN – REFER TO DEMOLITION NOTES FOR REMOVAL OF EXISTING WALLS, KITCHEN, LAUNDRY AND BATHROOMS. PROVIDE RENOVATED KITCHEN, LAUNDRY AND BATHROOMS AS INDICATED.

DUE TO THE NATURE OF THE WORK AND LACK OF AS–BUILT DRAWINGS THE CONTRACTOR SHALL USE THE UTMOST CARE WHILE REMOVING, ALTERING OR DEMOLISHING ANY PART OF THE STRUCTURE.

THE CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO INSURE THE HEALTH AND SAFETY OF ALL PERSONS AND SHALL COMPLY WITH ALL OSHA REQUIREMENTS. ALL WORKERS SHALL WEAR PROTECTIVE SAFETY EQUIPMENT AS REQUIRED.

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. ANY VARIATION AND/ OR DISCREPANCIES DUE TO "AS BUILD" CONDITIONS SHALL BE MADE KNOWN TO THE ARCHITECT PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL ACQUAINT THEMSELVES WITH THE EXISTING STRUCTURE PRIOR TO CONSTRUCTIONS.

ANY CONDITIONS NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWING.

THE CONTRACTOR SHALL PROVIDE NECESSARY TEMPORARY CLOSING OF ALL NEW OPENINGS IN WALLS, ROOFS OR FLOORS AT THE END OF EACH DAY'S WORK TO KEEP THE BUILDING WEATHER TIGHT AND SECURE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SHORING OF ALL STRUCTURAL MEMBERS THAT WILL REMAIN. THE ARCHITECT SHALL NOT BE LIABLE FOR THE PROPER PROCEDURE OF REMOVAL & SHORING WORK OF STRUCTURES BEING ALTERED OR REMOVED.

THE CONTRACTOR SHALL PATCH, REPAIR OR REPLACE EXISTING WORK DAMAGED BY THE NEW CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY ROUGH OPENING SIZES OF DOORS AND WINDOWS PRIOR TO CONSTRUCTION.

DISCONNECT AND DEACTIVATE ALL UTILITIES PRIOR TO ANY DEMOLITION AND/OR REMOVAL OF WORK.

PLUMBING– ALL EXISTING ROUGH PLUMBING TO REMAIN. RENOVATE KITCHEN, AND BATHROOMS AS INDICATED CONTRACTOR TO PROVIDE NEW CASEWORK, FINISHES AND FIXTURES FOR KITCHEN AND BATHROOMS.

ELECTRICAL– EXISTING WIRING AND ELECTRICAL FIXTURES TO REMAIN UNLESS NOTED OTHERWISE. UTILIZE EXISTING PANEL SPARES FOR NEW CIRCUITRY. CONTRACTOR'S ELECTRICAL SUB–CONTRACTOR TO CONFIRM LOAD DIAGRAM FOR PERMITTING. SEE NOTES AND ELECTRICAL PLAN FOR NEW OUTLETS AND RECESSED LIGHT FIXTURES.

HVAC– EXISTING HVAC SYSTEM TO REMAIN. HVAC SUB CONTRACTOR TO CHECK EXISTING EQUIPMENT AND RE–BALANCE EXISTING SYSTEM AS NECESSARY. MECHANICAL CONTRACTOR TO PROVIDE ENERGY EFFICIENCY CALCULATIONS AND VERIFY DUCTWORK DIAGRAMS FOR PERMITTING OR AS REQUIRED.

WINDOWS / SLIDING GLASS DOORS– PROVIDE NEW IMPACT RESISTENT CGI WINDOWS AND SLIDING GLASS DOORS. INSTALL PER MANUFACTURER SPECIFICATIONS. SEE WINDOW & DOOR SCHEDULE

DOORS– REMOVE ALL EXISTING DOORS AND PROVIDE NEW DOORS (TYPICAL)

KITCHEN– REMOVE EXISTING KITCHEN AND PROVIDE NEW KITCHEN AS INDICATED..

BATHROOMS– REMOVE EXISTING AND PROVIDE NEW MASTER AND GUEST BATHROOMS AS INDICATED.

TRIM – ALL NEW SPACES TO RECEIVE NEW BASEBOARD, COVE, DOOR & WINDOW TRIM. – TO MATCH EXISTING

PAINT– ALL INTERIOR AND EXTERIOR PORCH SURFACES TO RECEIVE PAINT. NEW AND EXISTING WALLS TO RECEIVE TWO COATS OF FINISH AND ONE COAT OF PRIMER, SANDING BETWEEN COATS. TRIM AND WOODWORK TO RECEIVE SHERWIN WILLIAMS OIL BASE PAINT. INTERIOR TO RECEIVE SHERWIN WILLIAMS SELECT AND CEILINGS TO RECEIVE SHERWIN WILLIAMS WHITE. SEPARATE PERMITS TO BE PULLED FOR DEMOLITION, ELECTRICAL, PLUMBING, HVAC, AND MASTER BUILDING PERMIT REQUIRED BY LOCAL CODES AND ORDINANCES.

ALL WORK IS TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 6TH EDITION AND ASCE 7–10.

DOOR SCHEDULE: X

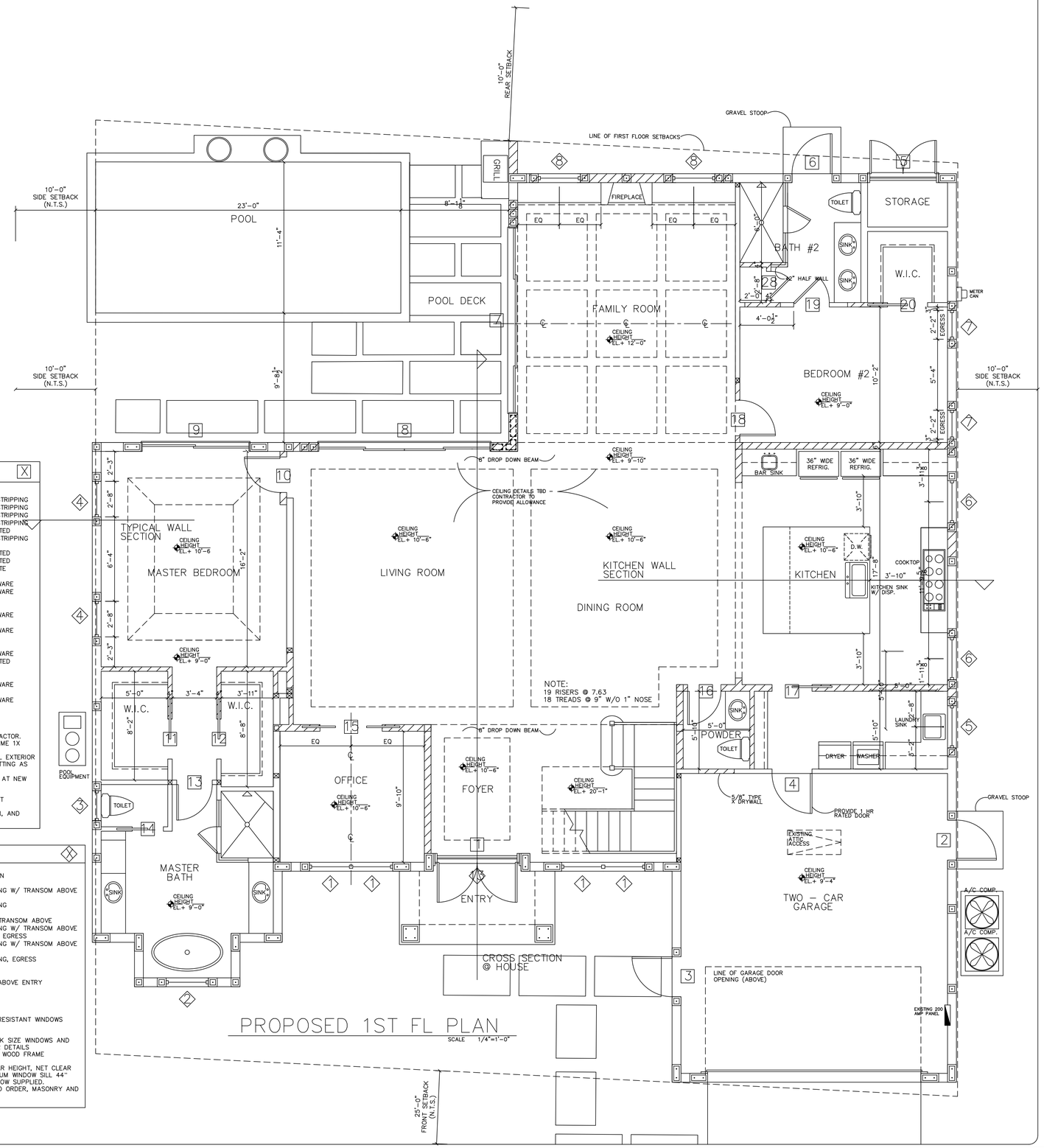
DOOR	SIZE	TYPE	MATERIAL	NOTES
1	6'–0" X 8'–0"	FRENCH	AL/GLASS	LOCKSET, WEATHER STRIPPING
2	3'–0"X 8'–0"	SWING	H. M.	LOCKSET, WEATHER STRIPPING
3	3'–0"X 7'–0"	SWING	H. M.	LOCKSET, WEATHER STRIPPING
4	3'–0"X 7'–0"	SWING	S.C. WOOD	LOCKSET, WEATHER STRIPPING
5	5'–0" X 7'–0"	FRENCH	H.M.	LOCKSET, IMPACT RATED
6	3'–0"X 7'–0"	SWING	H.M.	LOCKSET, WEATHER STRIPPING HALF LITE
7	14'–0" X 9'–0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
8	13'–0" X 9'–0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
9	8'–0" X 8'–0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATE
10	2'–8" X 8'–0"	SWING	S.C. WOOD	PRIVACY
11	3'–0" X 8'–0" PKT		S.C. WOOD	POCKET DOOR HARDWARE
12	3'–0" X 8'–0" PKT		S.C. WOOD	POCKET DOOR HARDWARE
13	2'–8" X 6'–8" SWING		S.C. WOOD	PRIVACY
14	2'–4" X 6'–8" SWING		S.C. WOOD	PRIVACY
15	5'–0" X 8'–0" PKT		S.C. WOOD	POCKET DOOR HARDWARE
16	2'–6" X 8'–0" SWING		S.C. WOOD	PRIVACY
17	3'–0" X 8'–0" PKT		S.C. WOOD	POCKET DOOR HARDWARE
18	2'–8" X 8'–0" SWING		S.C. WOOD	PRIVACY
19	2'–8" X 6'–8" SWING		S.C. WOOD	PRIVACY
20	3'–0" X 6'–8" PKT		S.C. WOOD	POCKET DOOR HARDWARE
21	5'–0" X 7'–0"	FRENCH	AL/GLASS	LOCKSET, IMPACT RATED
22	2'–8" X 7'–0" SWING		S.C. WOOD	PRIVACY
23	2'–8" X 7'–0" SWING		S.C. WOOD	PRIVACY
24	2'–8" X 7'–0" PKT		S.C. WOOD	POCKET DOOR HARDWARE
25	2'–6" X 7'–0" SWING		S.C. WOOD	PRIVACY
26	2'–8" X 7'–0" PKT		S.C. WOOD	POCKET DOOR HARDWARE
27	2'–6" X 7'–0" SWING		S.C. WOOD	PRIVACY
28	2'–0" X 6'–8" SWING		S.C. WOOD	

NOTES:
HARDWARE TO BE SELECTED BY THE OWNER, INSTALLED BY THE CONTRACTOR.
FRENCH DOORS TO BE CGI, WHITE ALUMINUM. MASONRY OPENINGS ASSUME 1X BUCK.
PROVIDE DADE COUNTY TESTED AND APPROVED IMPACT GLAZING AT ALL EXTERIOR DOORS. CONTRACTOR TO PROVIDE NOA PRODUCT APPROVAL FOR PERMITTING AS REQUIRED.
PROVIDE ENGINEERED 2 PANEL PAINTGRADE 1 3/8" SOLID CORE DOORS AT NEW INTERIOR LOCATIONS UNLESS NOTED OTHERWISE
PROVIDE NEW TRIM– SEE DETAILS
PROVIDE SOLID CORE, SLIDING DOOR SUBMITTALS FOR OWNER, ARCHITECT APPROVAL.
CONTRACTOR TO VERIFY ALL ROUGH OPENINGS PRIOR TO CONSTRUCTION, AND DOOR ORDERING.

WINDOW SCHEDULE:

NO.	WIDTH/ HEIGHT	# UNITS	DESCRIPTION
1	FIELD FIT @ EXISTING OPENING	4	SINGLE HUNG W/ TRANSOM ABOVE
2	FIELD FIT @ EXISTING OPENING	1	FIXED
3	2'–2" X 3'–2"	3	SINGLE HUNG
4	2'–8" X 5'–5"	2	FIXED
5	3'–2" X 3'–6"	1	FIXED W/ TRANSOM ABOVE
6	3'–2" X 6'–4"	2	SINGLE HUNG W/ TRANSOM ABOVE
7	2'–2" X 5'–5"	2	CASEMENT, EGRESS
8	3'–2" X 5'–3"	2	SINGLE HUNG W/ TRANSOM ABOVE
9	2'–2" X 3'–2"	2	FIXED
10	3'–2" X 4'–8"	5	SINGLE HUNG, EGRESS
11	3'–2" X 3'–2"	4	FIXED
12	2'–2" X 3'–2"	1	FIXED
13	6'–0" X 1'–5"	1	TRANSOM ABOVE ENTRY
14	3'–2" X 2'–0"	4	TRANSOM
15	3'–2" X 1'–5"	2	TRANSOM
16	3'–2" X 1'–5"	2	TRANSOM

ALL WINDOWS TO BE PGT WINGUARD SINGLE HUNG OR FIXED IMPACT RESISTANT WINDOWS
WHITE FINISH @ INTERIOR AND EXTERIOR
INSTALLATION TO BE PER MANUFACTURERS SPECIFICATIONS
CONTRACTOR TO VERIFY EXISTING MASONRY OPENINGS FOR NEW STOCK SIZE WINDOWS AND PROVIDE CUSTOM SIZES IF NECESSARY. PROVIDE NEW P.T. BUCKS PER DETAILS
SEE WINDOW JAMB HEAD AND SILL DETAILS FOR BOTH MASONRY AND WOOD FRAME CONDITIONS.
EGRESS WINDOWS NOTED ON PLAN– MIN. 20" CLEAR WIDTH, 24" CLEAR HEIGHT, NET CLEAR OPENING 5.0 SF @ GROUND FLOOR, 5.7 SF @ 2ND FLOOR AND MAXIMUM WINDOW SILL 44" A.F.F. PER CODE. CONTRACTOR TO VERIFY EGRESS PROVIDED BY WINDOW SUPPLIED.
CONTRACTOR TO VERIFY WINDOW OPENINGS AND DIMENSIONS PRIOR TO ORDER, MASONRY AND WOOD FRAME ROUGH OPENINGS DIFFER.



PROPOSED 1ST FL PLAN

SCALE 1/4"=1'–0"

REVISIONS

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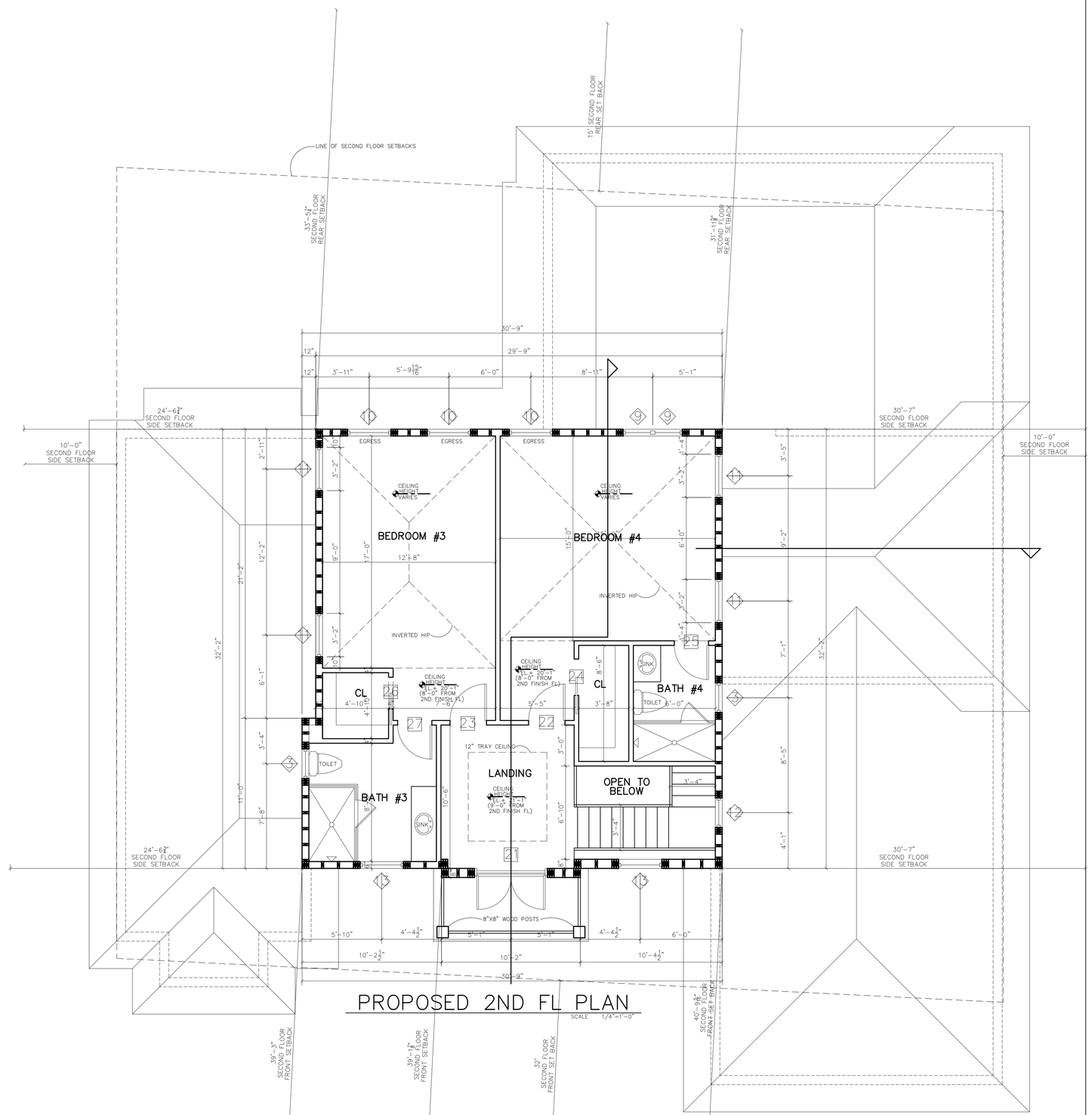
SHEET	2



PROPOSED 2ND FL PLAN

SCALE 1/4"=1'-0"

REVISIONS

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& ASSOCIATES
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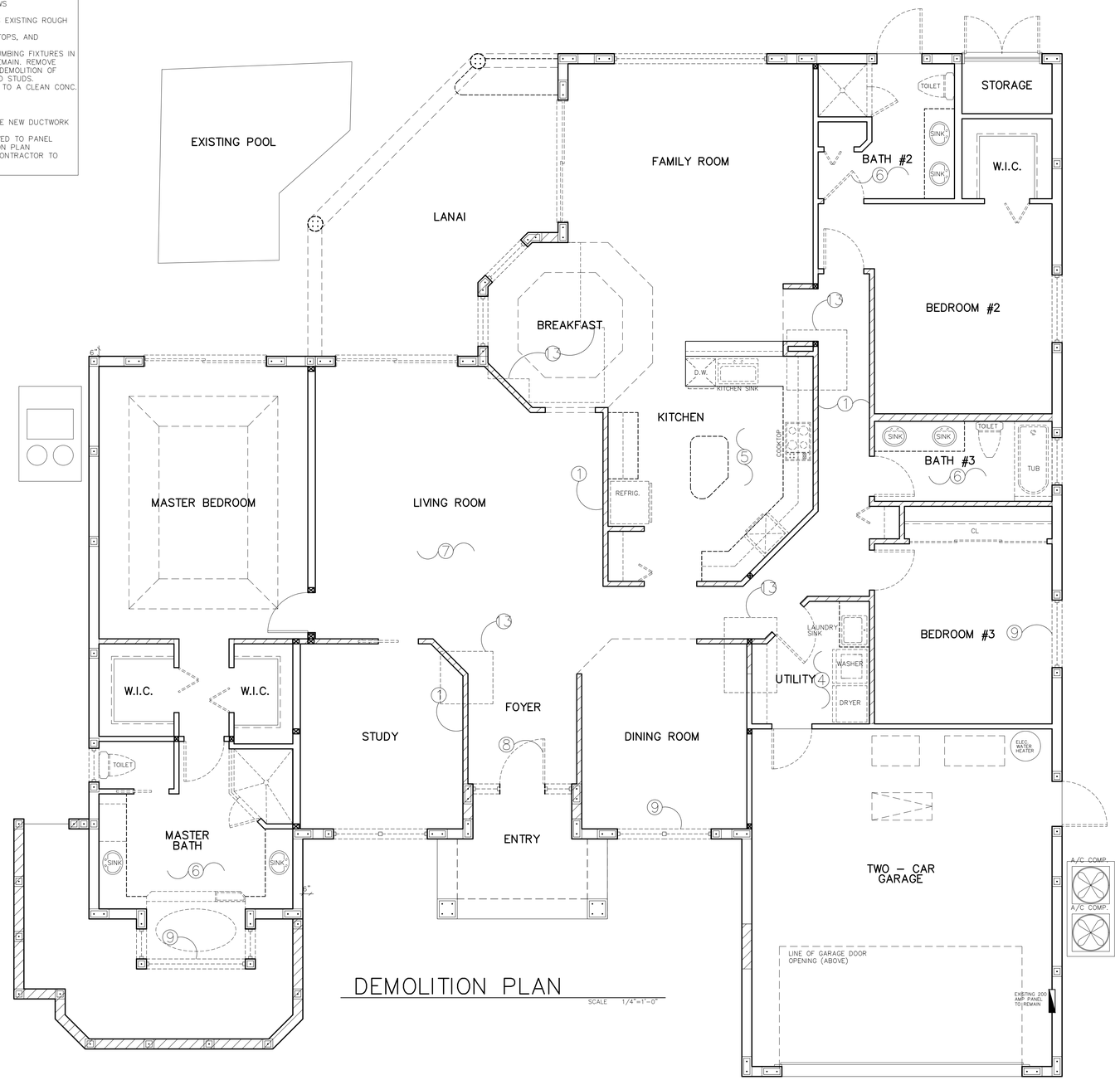
JUPITER, FLORIDA
AR-0014964

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	7/2/20
SCALE	AS SHOWN
JOB NO.	
SHEET	3

DEMOLITION NOTES & KEY:

1. REMOVE PARTITIONS PER THE HATCHED AREAS INDICATED
2. PROVIDE TEMPORARY PROTECTION FROM ELEMENTS AND SECURITY @ NEW SLIDING GLASS DOORS, & AFFECTED WINDOWS
3. EXISTING ELECTRICAL PANEL TO REMAIN
4. REMOVE EXISTING LAUNDRY CASEWORK, FIXTURES EXISTING ROUGH PLUMBING TO REMAIN.
5. REMOVE EXISTING KITCHEN CASEWORK, COUNTERTOPS, AND APPLIANCES AND ALL OTHER CABINETRY
6. REMOVE EXISTING FLOORING, CASEWORK AND PLUMBING FIXTURES IN BATHROOMS – EXISTING ROUGH PLUMBING TO REMAIN. REMOVE EXISTING SHOWER PANS AND CURBS. COMPLETE DEMOLITION OF THREE BATHROOMS. TAKE ALL SHOWER WALLS TO STUDS.
7. REMOVE EXISTING FLOORING IN RESIDENCE DOWN TO A CLEAN CONC. SURFACE.
8. REMOVE EXISTING DOORS (TYPICAL)
9. REMOVE EXISTING WINDOWS (TYPICAL)
10. EXISTING HVAC EQUIPMENT TO REMAIN – PROVIDE NEW DUCTWORK
11. REMOVE EXISTING WATER HEATER.
12. WIRING IN WALLS TO BE REMOVED, TO BE REMOVED TO PANEL
13. CUT SLAB FOR NEW FOOTINGS – SEE FOUNDATION PLAN
14. ALL DEBRIS TO BE LOADED INTO DUMPSTER – CONTRACTOR TO PROVIDE DRIVEWAY PROTECTION AS REQUIRED



DEMOLITION PLAN

SCALE 1/4"=1'-0"

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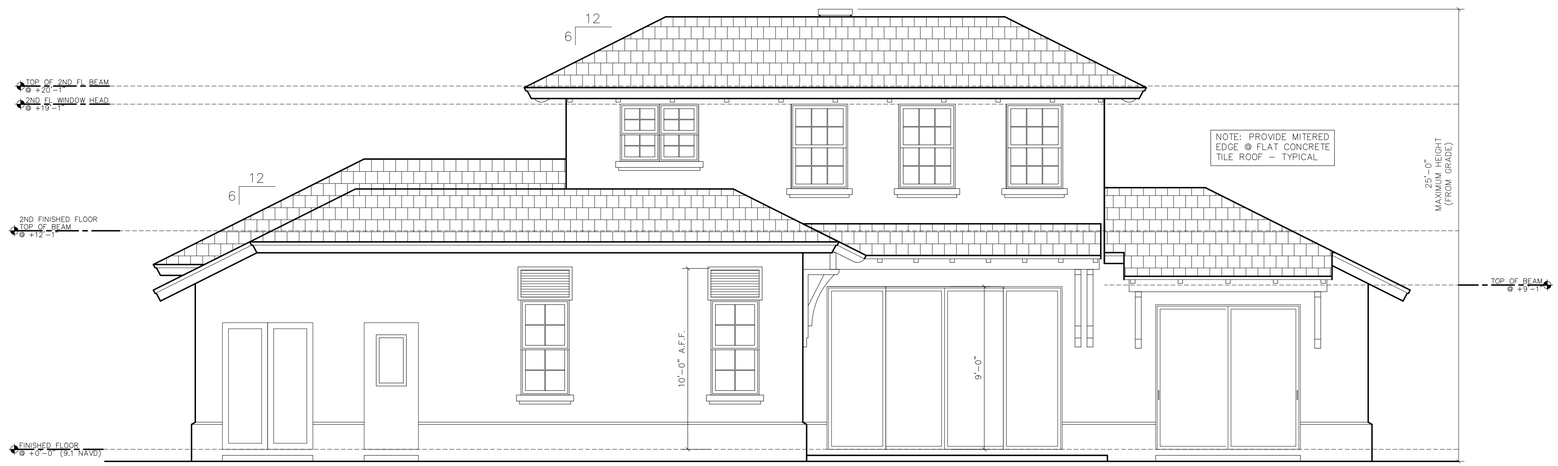
AR-0014964

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	7/2/20
SCALE	AS SHOWN
JOB NO.	
SHEET	4

OPENING CALCULATIONS
(REAR ELEVATION)

AREA OF WALL :	987 SQ FT
AREA OF OPENINGS :	309 SQ FT
OPENING PERCENTAGE:	31.3%



PROPOSED REAR ELEVATION

SCALE 1/4"=1'-0"

OPENING CALCULATIONS
(FRONT ELEVATION)

AREA OF WALL :	980 SQ FT
AREA OF OPENINGS :	237 SQ FT
OPENING PERCENTAGE:	24.2%

PROPOSED FRONT ELEVATION

SCALE 1/4"=1'-0"

REVISIONS

A RENOVATION @:
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33469

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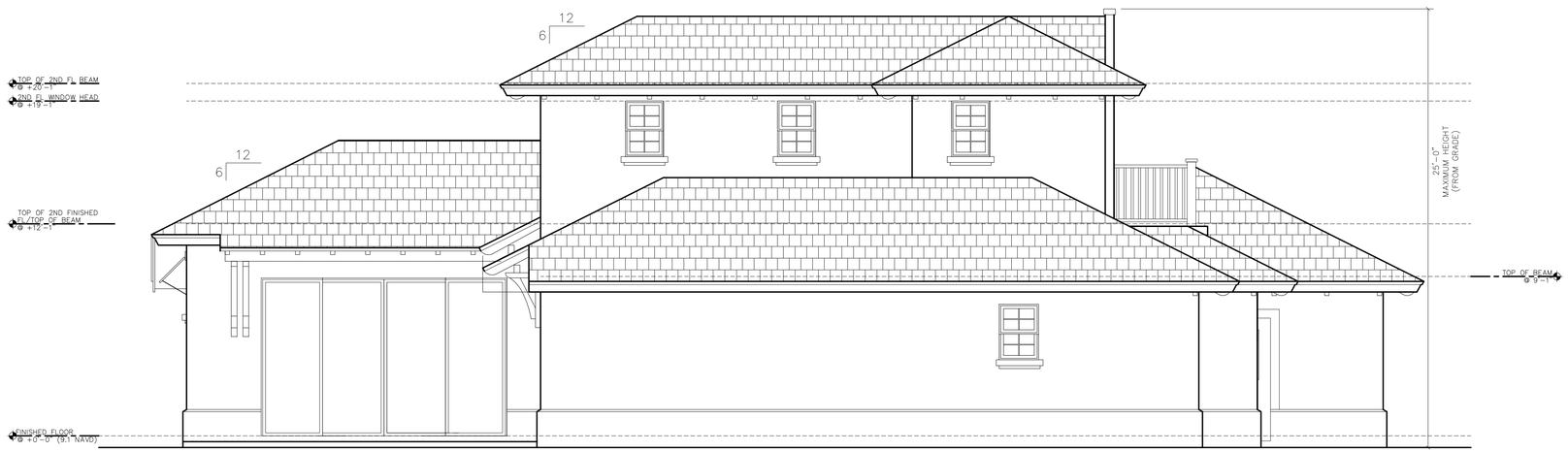
SCALE	AS SHOWN
JOB NO.	
SHEET	5

OPENING CALCULATIONS
(LEFT ELEVATION)

AREA OF WALL :	920 SQ FT
AREA OF OPENINGS :	159 SQ FT
OPENING PERCENTAGE:	17.3%



PROPOSED LEFT ELEVATION

SCALE 1/4"=1'-0"

OPENING CALCULATIONS
(RIGHT ELEVATION)

AREA OF WALL :	854 SQ FT
AREA OF OPENINGS :	131 SQ FT
OPENING PERCENTAGE:	15.3%

PROPOSED RIGHT ELEVATION

SCALE 1/4"=1'-0"

REVISIONS

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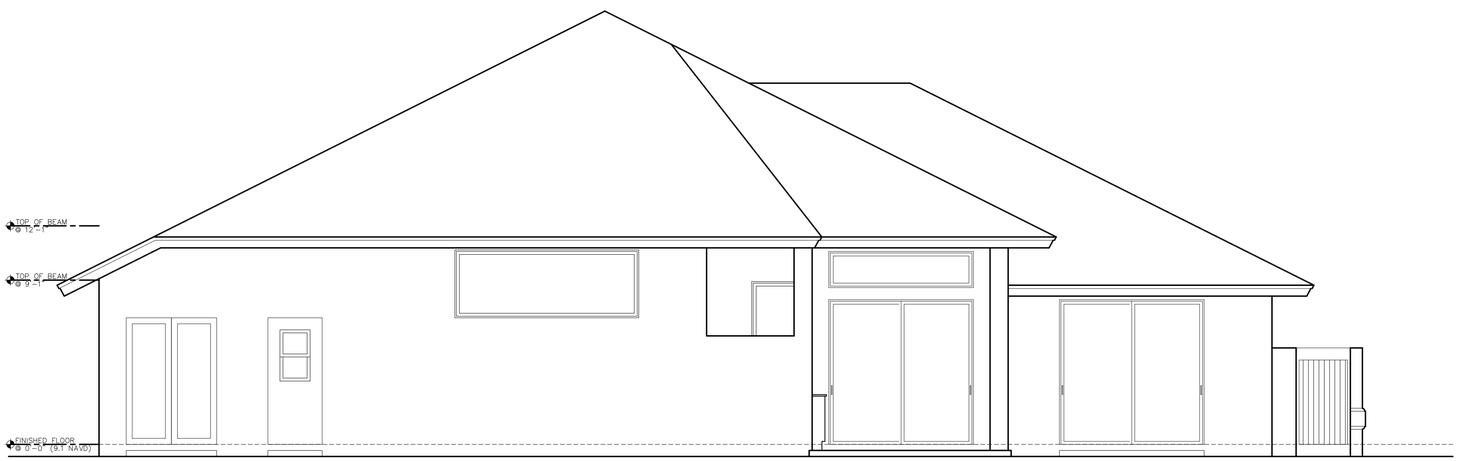
DRAWN	G.R.C.
CHECKED	J.S.B.
DATE	7/2/20
SCALE	AS SHOWN
JOB NO.	
SHEET	6

EXISTING FRONT ELEVATION

SCALE 1/4"=1'-0"



EXISTING REAR ELEVATION

SCALE 1/4"=1'-0"

REVISIONS

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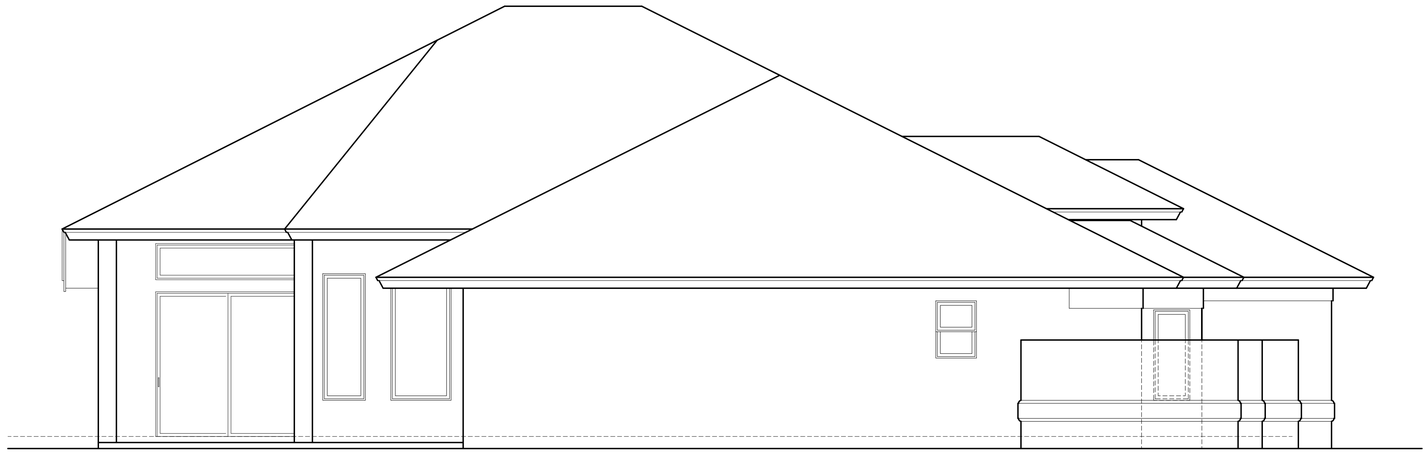
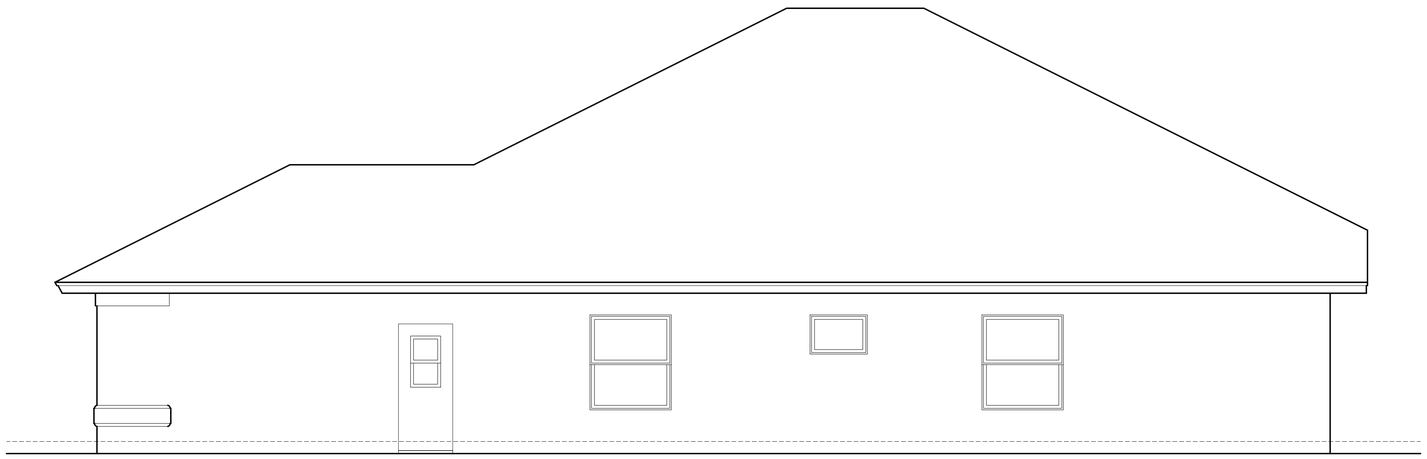
DATE	7/2/20
SCALE	AS SHOWN
JOB NO.	
SHEET	7



EXISTING LEFT ELEVATION

SCALE 1/4"=1'-0"



EXISTING RIGHT ELEVATION

SCALE 1/4"=1'-0"

REVISIONS

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SHEET	8

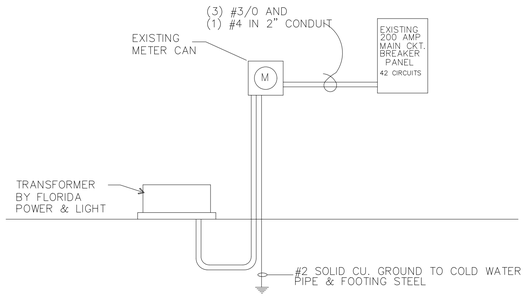
ELECTRICAL LOAD CALC

LIVING AREA 3,584 SF

3,584 SF @ 3W	10,752W
HWH	5,000W
RANGE	8,000W
DRYER	5,000W
WASHER	1,500W
REFRIGERATOR (2 1.5K EA)	3,000W
DISHWASHER	1,500W
MICROWAVE	1,500W
DISPOSAL	750W
APPLIANCES	3,000W
BATHROOMS	6,000W
GARAGE DOOR OPENER	1,000W
POOL PUMP	1,500W
SUBTOTAL:	48,502W
FIRST 10,000W @ 100% =	10,000W
BALANCE @ 40% =	15,401W
AC/HEAT	15,000W
	40,401W

40,401W/240V = 168 AMPS

EXISTING 200 AMP PANEL



ELECTRICAL RISER DIAGRAM

N.T.S.

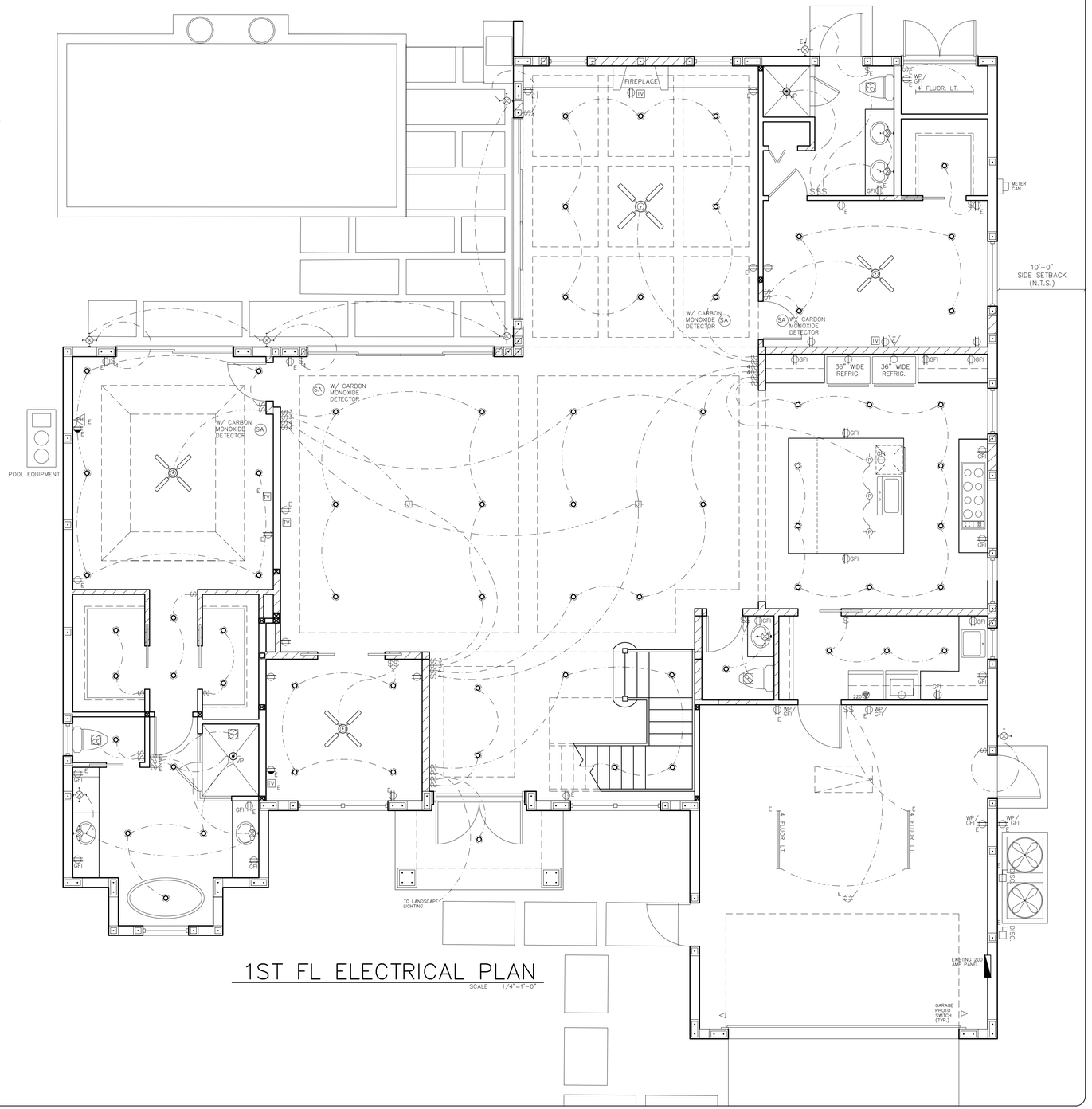
NOTE: EXISTING OUTLETS, SWITCHES AND LIGHTING ARE INDICATED WITH AN 'E', ALL OTHER ELECTRICAL IS NEW

GENERAL ELECTRICAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH BOTH LOCAL AND NATIONAL ELECTRICAL CODES.
2. ELECTRICAL CONTRACTOR SHALL VERIFY ELECTRICAL PLAN , RISER DIAGRAM, AND LOADS, AND NOTIFY THE GENERAL CONTRACTOR OF ANY ERRORS OR DISCREPENCIES PRIOR TO INSTALLATION.
3. ALL EQUIPMENT INSTALLED OUTSIDE OR EXPOSED TO WEATHER SHALL BE NEMA TYPE 3R.
4. MINIMUM WIRE SIZE SHALL BE # 14 COPPER.
5. ALL CONDUCTORS ARE TO BE COPPER, TYPE THW, UNLESS OTHERWISE NOTED.
6. CONNECT GROUNDING ELECTRODE CONDUCTOR TO GROUND ROD AND NEAREST COPPER WATER LINE (COLD).
7. ALL 120V. 1 PHASE 15A. AND 20A. BATHROOM, GARAGE,KITCHEN AND EXTERIOR RECEPTACLES, SHALL HAVE GROUND FAULT INTERRUPTER (G.F.I.) PROTECTION WITH EXTERIOR RECEPTACLES OF THE WATERPROOF TYPE. ELECTRICAL CONTRACTOR MAY INSTALL INDIVIDUAL (G.F.I.) IN LIEU OF (G.F.I.) BREAKER WITH SEPERATE CIRCUIT.
8. SWITCHES SHALL BE ROCKER TYPE (UNLESS OTHERWISE NOTED)
9. RECEPTACLES SHALL BE 15A. AND 120V. OF THE GROUND TYPE 16" A.F.F. UNLESS OTHERWISE SPECIFIED.
10. THE ELECTRICAL CONTRACTOR IS TO SIZE MOST BRANCH CIRCUITS; A MAXIMUM VOLTAGE DROP OF 3% IS PERMITTED.
11. THE ELECTRICAL CONTRACTOR IS TO ARRANGE FOR TELEPHONE SERVICE AND TELEPHONE WIRING. COORDINATE WITH THE TELEPHONE COMPANY UNLESS OTHERWISE SPECIFIED.
12. BRANCH CIRCUITS SHALL BE IN THIN WALL CONDUIT OR APPROVED ROMEX.
13. LIGHTING FIXTURES SHALL BE SELECTED BY THE BUILDER.
14. SMOKE ALARMS SHALL BE DIRECT WIRED 120V. U.L. 217 APPROVED TYPE WITH AUDIBLE ALARM INSTALLED IN ACCORDANCE WITH MANU-FACTURER'S RECOMMENDATIONS AND LISTING.
15. ALL DEVICES SHALL BE SMOOTH TYPE, (WHITE), UNLESS OTHERWISE SPECIFIED (VERIFY).
16. ALL MECHANICAL EQUIPMENT SHALL BE PROTECTED BY OVERCURRENT DEVICES OF TYPE AND RATING PER MANUFACTURER NAMEPLATE SPECIFICATIONS.
17. THE ELECTRICAL CONTRACTOR IS TO COORDINATE WITH OTHER TRADES TO MAKE CERTAIN THAT ALL AIR-CONDITIONING POWER AND CONTROL WIRING AND CONDUITS ARE IN THE BID.
18. EXHAUST FANS IN BATHROOMS (IF USED) SHALL BE RATED AT 1 CFM/SF OF VENTILATED FLOOR AREA.
19. ALL FAN VENTING AND ROOF PENETRATIONS SHALL BE BY MECHANICAL CONTRACTOR.
20. ELECTRICAL CONTRACTOR IS TO COORDINATE ALL SERVICE REQUIR-MENTS WITH THE POWER COMPANY BEFORE BIDDING TO BE CERTAIN THAT ALL WORK NECESSARY TO MEET POWER COMPANY SPECIFICATIONS IS IN THE BID.
21. VERIFY REQUIRED CLEARANCES BETWEEN EQUIPMENT / LIGHT FIXTURES WITH ANY OTHER ITEMS AND / OR MATERIALS SUCH AS BUT NOT LIMITED TO PLUMBING FIXTURES, INSULATION, ETC. PRIOR TO INSTALLATION. ADJUST AS REQUIRED.
22. ALL MATERIALS TO BE NEW AND U.L. APPROVED.
23. VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENT TO BE INSTALLED AND ADJUST WIRE SIZE, BREAKER SIZE, ETC. AS REQUIRED PRIOR TO INSTALLATION.
24. ALL RECEPTACLE, OUTLETS IN BEDROOMS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS.

ELECTRICAL LEGEND

RECESSED HI-HAT	PUSH BOTTON
MINI RECESSED HI-HAT	DISCONNECT SWITCH
JUNCTION BOX	DOOR BELL
GLOBE LIGHT	CHIME BOX
FLUORESCENT LIGHT	GARAGE DOOR SENSOR BEAM
VAPOR PROOF RECESSED LIGHT	DIRECT WIRED MOTOR
WALL MOUNTED FIXTURE	CABLE TELEVISION LOCATION
KEYLESS LIGHT FIXTURE	220V RECEPTACLE
EXHAUST FAN	SWITCH
FLOOD LIGHT	3 WAY SWITCH
HARD WIRED SMOKE ALARM	4 WAY SWITCH
PENDANT LIGHT FIXTURE	120V RECEPTACLE
CEILING FAN	HALF HOT RECEPTACLE
	120V G.F.I.
	WEATHER PROOF G.F.I.
	DEDICATED CIRCUIT 120V
PHONE JACK	FLOOR OUTLET



1ST FL ELECTRICAL PLAN

SCALE 1/4"=1'-0"

REVISIONS

A RENOVATION @:
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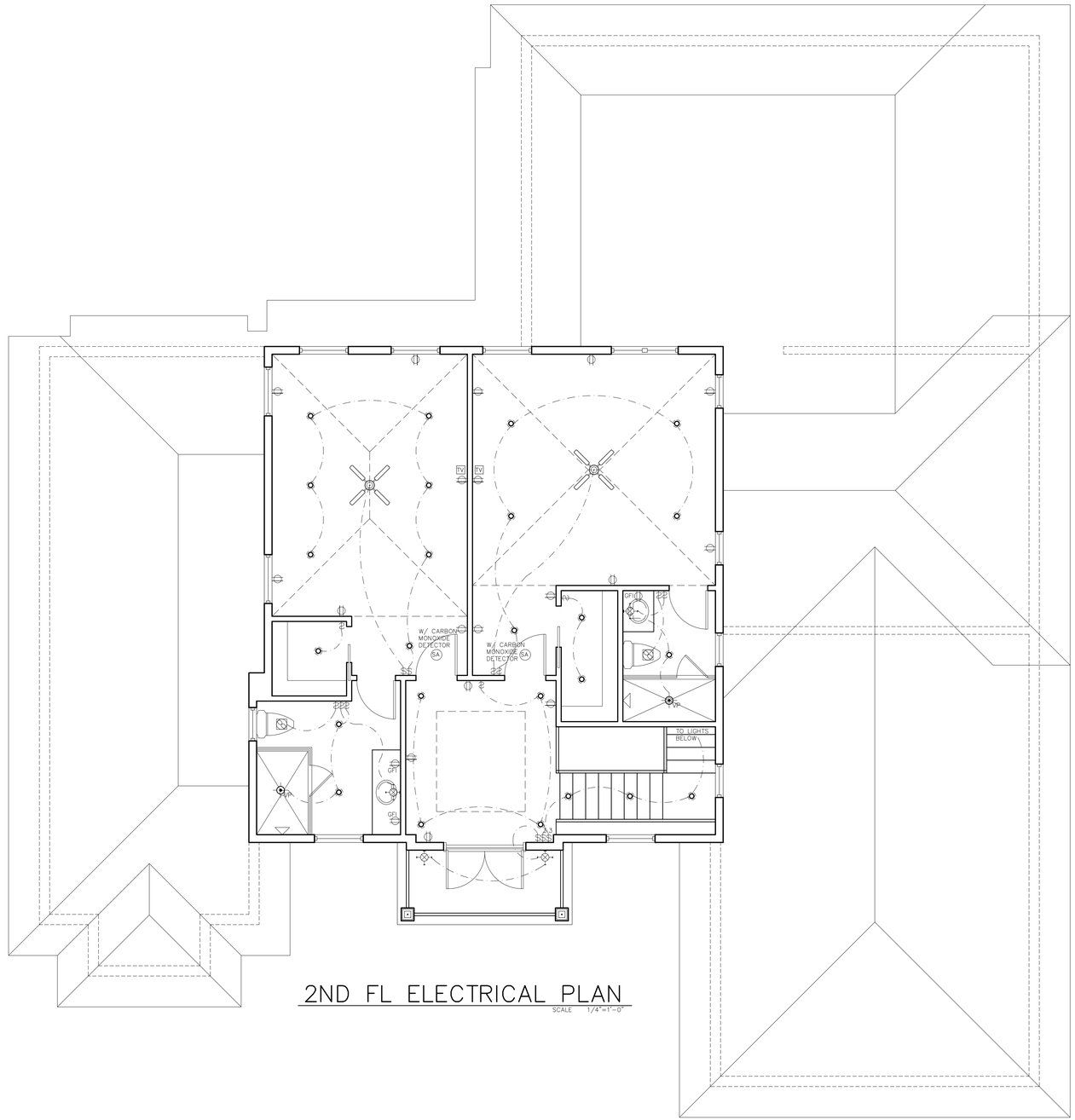
DATE	7/2/20
SCALE	AS SHOWN
JOB NO.	
SHEET	9



2ND FL ELECTRICAL PLAN

SCALE 1/4"=1'-0"

ELECTRICAL LEGEND

- RECESSED HI-HAT
- MINI RECESSED HI-HAT
- JUNCTION BOX
- GLOBE LIGHT
- FLUORESCENT LIGHT
- VAPOR PROOF RECESSED LIGHT
- WALL MOUNTED FIXTURE
- KEY-LESS KEYLESS LIGHT FIXTURE
- EXHAUST FAN
- FLOOD LIGHT
- SA HARD WIRED SMOKE ALARM
- PENDANT LIGHT FIXTURE
- CEILING FAN
- PHONE JACK
- PB PUSH BOTTON
- DISC. DISCONNECT SWITCH
- BELL D.B. DOOR BELL
- CHIME CHIME BOX
- GARAGE DOOR PHOTO SWITCH GARAGE DOOR SENSOR BEAM
- M DIRECT WIRED MOTOR
- TV CABLE TELEVISION LOCATION
- 220V 220V RECEPTACLE
- $ SWITCH
- $3 3 WAY SWITCH
- $4 4 WAY SWITCH
- 120V RECEPTACLE
- HALF HOT RECEPTACLE
- GFI 120V G.F.I.
- WP GFI WEATHER PROOF G.F.I.
- DEDICATED CIRCUIT 120V
- 120V FLOOR OUTLET

REVISIONS

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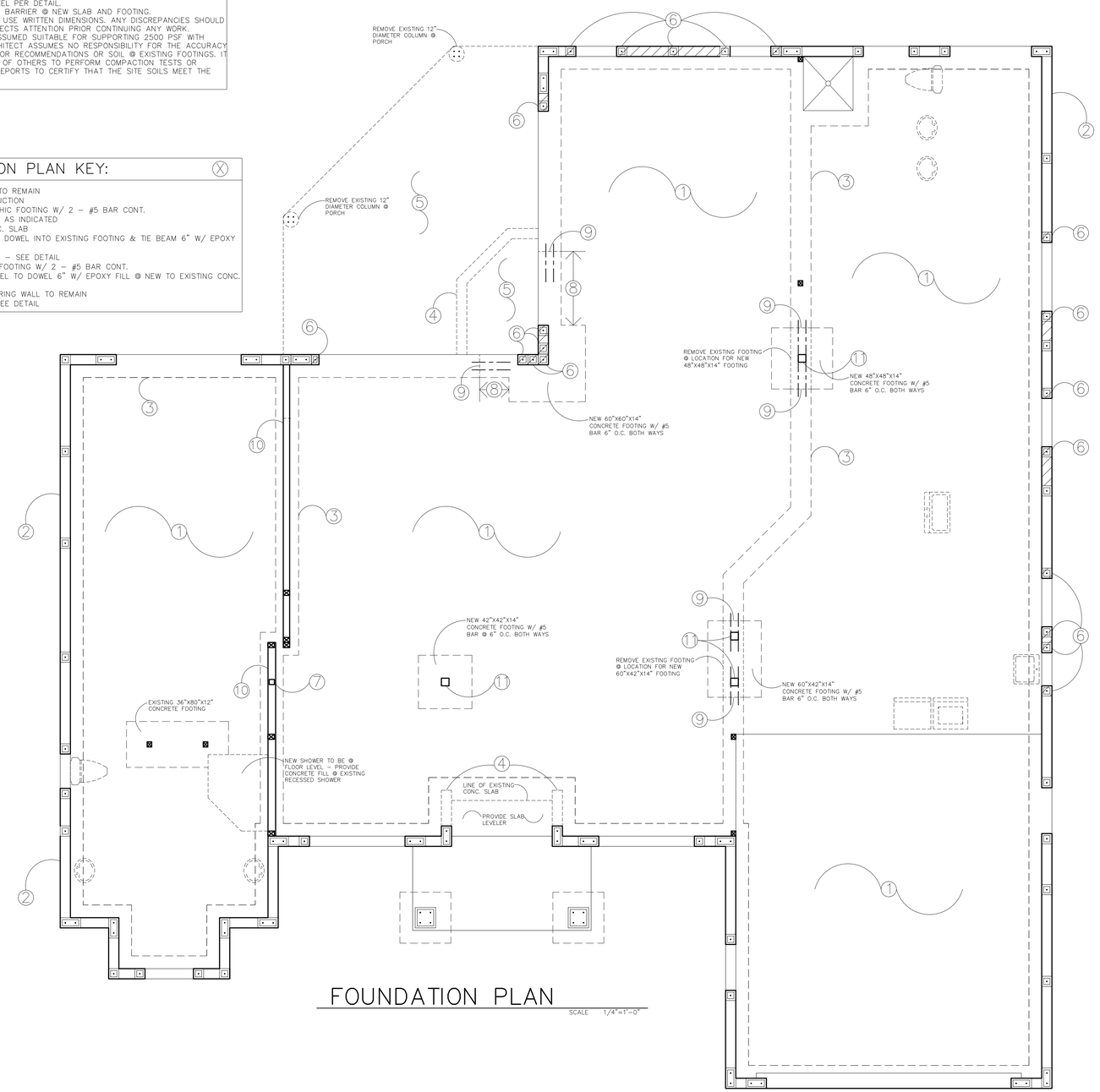
DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	7/2/20
SCALE	AS SHOWN
JOB NO.	
SHEET	10

FOUNDATION PLAN NOTES:

1. ALL CONCRETE FOR NEW FOOTINGS SHALL NOT HAVE LESS THAN (2500 P.S.I) STRUCTURAL VALUE @ 28 DAYS.
2. SOIL SHALL BE COMPACTED (MIN. 2500 P.S.F)
3. PROVIDE REINFORCING STEEL PER DETAIL.
4. PROVIDE VISQUEEN VAPOR BARRIER @ NEW SLAB AND FOOTING.
5. DO NOT SCALE DRAWINGS USE WRITTEN DIMENSIONS. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR CONTINUING ANY WORK.
6. SITE SOILS HAVE BEEN ASSUMED SUITABLE FOR SUPPORTING 2500 PSF WITH SPREAD FOOTINGS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE SOILS EXPLORATION OR RECOMMENDATIONS OR SOIL @ EXISTING FOOTINGS. IT WILL BE THE RESPONSIBILITY OF OTHERS TO PERFORM COMPACTION TESTS OR SUBSURFACE EXPLORATION REPORTS TO CERTIFY THAT THE SITE SOILS MEET THE 2500 PSF REQUIREMENT.

FOUNDATION PLAN KEY: (X)

1. EXISTING 4" CONC. SLAB TO REMAIN
2. EXISTING 8" CMU CONSTRUCTION
3. EXISTING 18"X14" MONOLITHIC FOOTING W/ 2 – #5 BAR CONT.
4. REMOVE EXISTING 8" CMU. AS INDICATED
5. REMOVE EXISTING 4" CONC. SLAB
6. NEW 8"X8" FILLED CELL – DOWEL INTO EXISTING FOOTING & TIE BEAM 6" W/ EPOXY FILL (TYPICAL)
7. NEW 4"X4" STEEL COLUMN – SEE DETAIL
8. NEW 18"X14" MONOLITHIC FOOTING W/ 2 – #5 BAR CONT.
9. 2 – #5 BAR FOOTING STEEL TO DOWEL 6" W/ EPOXY FILL @ NEW TO EXISTING CONC. FOOTING CONNECTION
10. EXISTING 2"X6" STUD BEARING WALL TO REMAIN
11. 6"X6" STEEL COLUMN – SEE DETAIL



FOUNDATION PLAN

SCALE 1/4"=1'-0"

REVISIONS

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SCALE	AS SHOWN
JOB NO.	
SHEET	11

GENERAL ROOF NOTES:

1. ALL PRE-ENGINEERED BEAMS TO BE DESIGNED BY TRUSS/ BEAM MANUFACTURER.
2. ALL JOISTS/ BEAMS NOT SPECIFICALLY ADDRESSED ARE ASSUMED TO HAVE AN UPLIFT OF 1300# AND ARE TO BE SECURED WITH A SIMPSON MTS-16 OR HETAL-16 DEPENDING ON BEARING SURFACE.
3. ROOF SHEATHING TO BE BE NAILED AS GABLE END ZONE ALL OVER.
   - 8D RING SHANK OR 10D COMMON NAIL
   - ALL NAILS TO BE GALVANIZED
   - 4" O.C. ON EDGES
   - 6" O.C. IN FIELD
4. ALL SHEATHING TO BE EXTERIOR GRADE CDX PLYWOOD WITH GRAIN PERPENDICULAR TO TRUSS.
5. NO SHEATHING PIECES ALLOWED TO BE UNDER 2' SQUARE OR RIPPED UNDER 16" ALONG 8' LENGTH.
6. ALL WOOD USED IN THE ROOF SYSTEM FOR CRICKETS, BRACING, LEDGERS, RAT RUNS ETC. ARE TO BE:
   - NO. 2 SYP
   - NO. 2 HEM/ FUR
   - NO. 2 PT
7. ALL CRICKETS TO BE HAND FRAMED AS FOLLOWS:
   - 5' RAFTER LENGTH = 2X4 @ 16" O.C.
   - 10' RAFTER LENGTH = 2X6 @ 16" O.C.
8. ALL VALLEYS AND HIP RIDGES REQUIRED TO HAVE CATS. CATS TO BE 2" X 4" WITH A MAXIMUM JOINT GAP OF 1/8" EACH END.

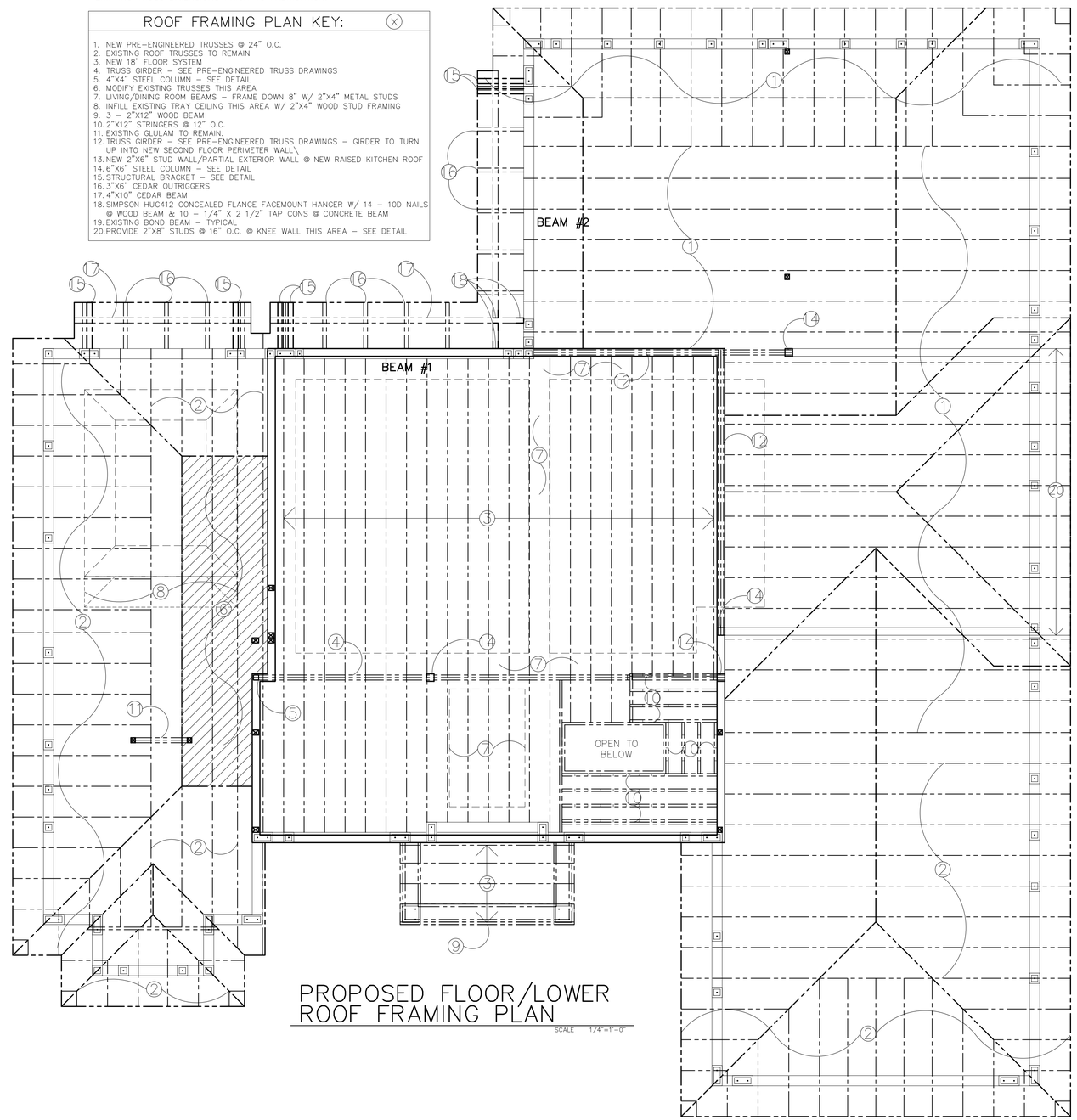
NOTE: CONTRACTOR TO PROVIDE FIELD MEASUREMENTS VERIFYING TRUSS DIMENSIONS PRIOR TO FABRICATION.

ROOF FRAMING PLAN KEY: (X)

1. NEW PRE-ENGINEERED TRUSSES @ 24" O.C.
2. EXISTING ROOF TRUSSES TO REMAIN
3. NEW 18" FLOOR SYSTEM
4. TRUSS GIRDER - SEE PRE-ENGINEERED TRUSS DRAWINGS
5. 4"X4" STEEL COLUMN - SEE DETAIL
6. MODIFY EXISTING TRUSSES THIS AREA
7. LIVING/DINING ROOM BEAMS - FRAME DOWN 8" W/ 2"X4" METAL STUDS
8. INFILL EXISTING TRAY CEILING THIS AREA W/ 2"X4" WOOD STUD FRAMING
9. 3 - 2"X12" WOOD BEAM
10. 2"X12" STRINGERS @ 12" O.C.
11. EXISTING GLULAM TO REMAIN.
12. TRUSS GIRDER - SEE PRE-ENGINEERED TRUSS DRAWINGS - GIRDER TO TURN UP INTO NEW SECOND FLOOR PERIMETER WALL\
13. NEW 2"X6" STUD WALL/PARTIAL EXTERIOR WALL @ NEW RAISED KITCHEN ROOF
14. 6"X6" STEEL COLUMN - SEE DETAIL
15. STRUCTURAL BRACKET - SEE DETAIL
16. 3"X6" CEDAR OUTRIGGERS
17. 4"X10" CEDAR BEAM
18. SIMPSON HUC412 CONCEALED FLANGE FACEMOUNT HANGER W/ 14 - 10D NAILS @ WOOD BEAM & 10 - 1/4" X 2 1/2" TAP CONS @ CONCRETE BEAM
19. EXISTING BOND BEAM - TYPICAL
20. PROVIDE 2"X8" STUDS @ 16" O.C. @ KNEE WALL THIS AREA - SEE DETAIL

BEAM SCHEDULE

MARK	ELEV. TOP OF BEAM	SIZE	REINFORCING			STIRRUPS		REMARKS
			TOP	BOTTOM	MID	NO.	SPACING	
BEAM #1	SEE PLAN	8"x36"	(2) #5'S	(2) #7'S	(2) #5'S	#3	@6" O.C.	PROVIDE MIN. 16" BEAM SEAT @ ENDS
BEAM #2	SEE PLAN	8"x36"	(2) #5'S	(2) #7'S	(2) #5'S	#3	@8" O.C.	PROVIDE MIN. 16" BEAM SEAT @ ENDS



PROPOSED FLOOR/LOWER ROOF FRAMING PLAN

SCALE 1/4"=1'-0"

REVISIONS

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DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	7/2/20
SCALE	AS SHOWN
JOB NO.	
SHEET	12

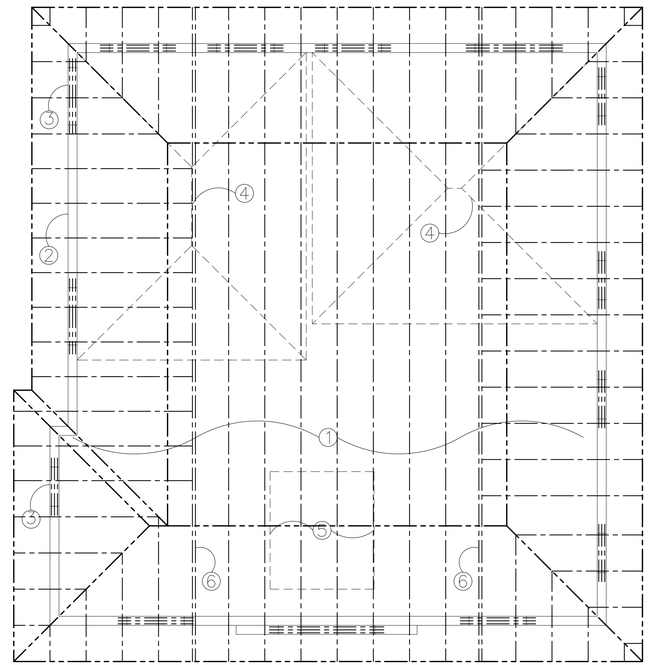
GENERAL ROOF NOTES:

1. ALL PRE-ENGINEERED BEAMS TO BE DESIGNED BY TRUSS/ BEAM MANUFACTURER.
2. ALL JOISTS/ BEAMS NOT SPECIFICALLY ADDRESSED ARE ASSUMED TO HAVE AN UPLIFT OF 1300# AND ARE TO BE SECURED WITH A SIMPSON MTS-16 OR HETAL-16 DEPENDING ON BEARING SURFACE.
3. ROOF SHEATHING TO BE BE NAILED AS GABLE END ZONE ALL OVER.
   - 8D RING SHANK OR 10D COMMON NAIL
   - ALL NAILS TO BE GALVANIZED
   - 4" O.C. ON EDGES
   - 6" O.C. IN FIELD
4. ALL SHEATHING TO BE EXTERIOR GRADE CDX PLYWOOD WITH GRAIN PERPENDICULAR TO TRUSS.
5. NO SHEATHING PIECES ALLOWED TO BE UNDER 2' SQUARE OR RIPPED UNDER 16" ALONG 8' LENGTH.
6. ALL WOOD USED IN THE ROOF SYSTEM FOR CRICKETS, BRACING, LEDGERS, RAT RUNS ETC. ARE TO BE:
   - NO. 2 SYP
   - NO. 2 HEM/ FUR
   - NO 2 PT
7. ALL CRICKETS TO BE HAND FRAMED AS FOLLOWS:
   - 5' RAFTER LENGTH = 2X4 @ 16" O.C.
   - 10' RAFTER LENGTH = 2X6 @ 16" O.C.
8. ALL VALLEYS AND HIP RIDGES REQUIRED TO HAVE CATS. CATS TO BE 2" X 4" WITH A MAXIMUM JOINT GAP OF 1/8" EACH END.

NOTE: CONTRACTOR TO PROVIDE FIELD MEASUREMENTS VERIFYING TRUSS DIMENSIONS PRIOR TO FABRICATION.

ROOF FRAMING PLAN KEY: (X)

1. PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.
2. 2"X6" STUDS @ 16" O.C.
3. 3 - 2"X10" WOOD LINTEL
4. INVERTED HIP @ BEDROOMS (6/12 @ EXTERIOR, 4/12 @ INTERIOR)
5. 12" TRAY CEILING
6. TRUSS GIRDER - SEE PRE-ENGINEERED TRUSS DRAWINGS



UPPER ROOF FRAMING PLAN

SCALE 1/4"=1'-0"

REVISIONS

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JOB NO.	
SHEET	13

REVISIONS

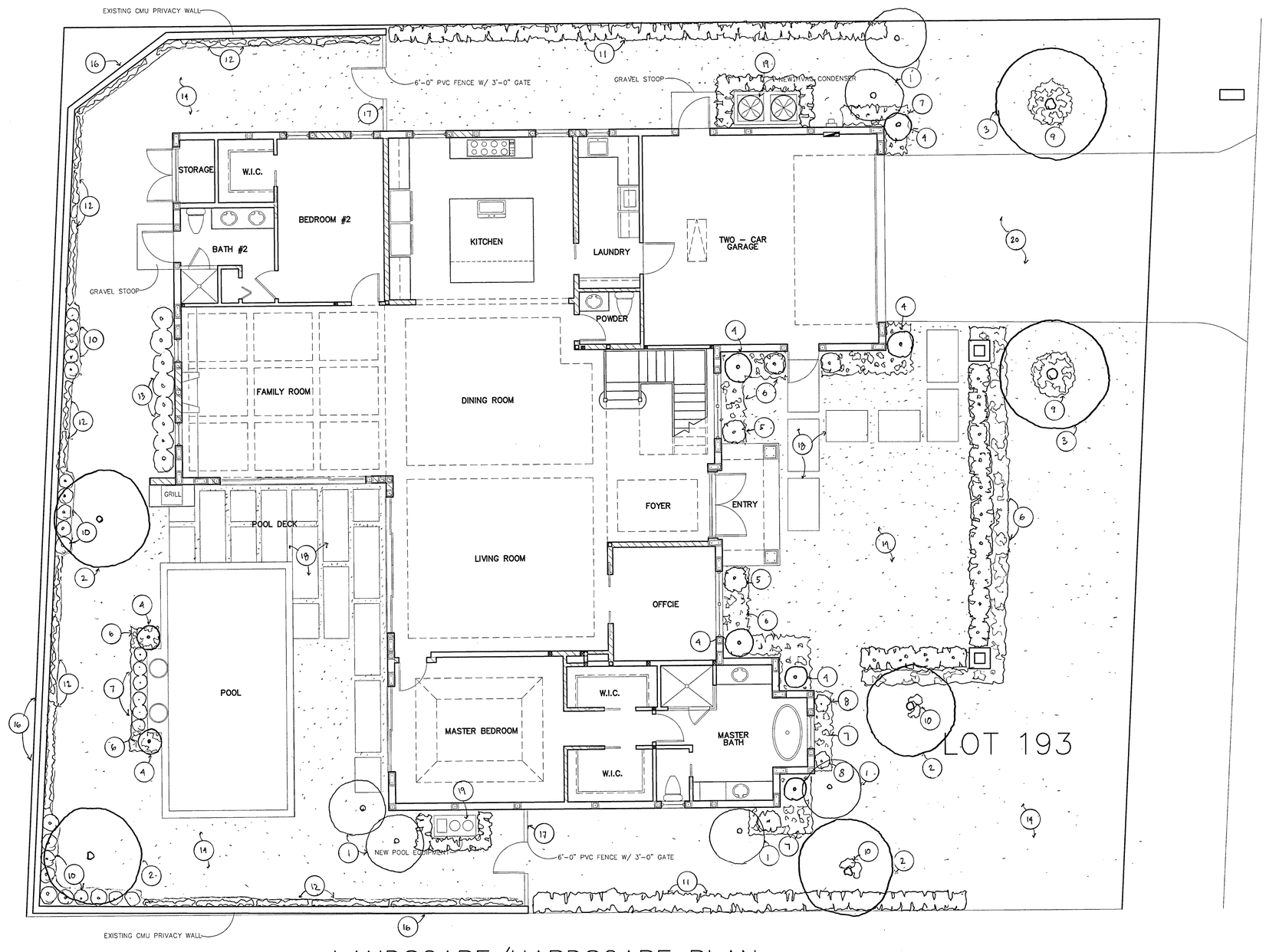
LANDSCAPED AREA @ FRONT SETBACK -79%

Front Setback Area- 25' X 85' = 2125

Driveway 16' x 25.4= 407 sf
Concrete Walkway = 42 sf
449 sf

LANSCAPE PLAN KEY

	QTY
1. Alexander Palm, Archontophoenix, min 8' wood w straight trunk	6
2. Coconut Palm, Cocus Nucifera 7"-10" wood	4
3. Sylvester Palm, Phoenix Sylvestris, 7'-10' wood	2
4. Italian Cypress, Cupressus Sempervirens, 5 gal	8
5. Logustrum, Ligustrium Lucidum/Glossy Privet 3'-5' shrub	4
6. Jasmine Minima, Trachelospermum Asiaticum, 1 gal 18" o.c.	25
7. Green Island Ficus, Ficus Microcarpa 1 gal	20
8. Golden Dewdrop, Duranta Erecta 1 gal	8
9. Dwarf Liriope, Liriope Spicata ½" gal	24
10. Bouganvilla, Bouganvilla Giabra, 2 gal red flower	15
11. Small Leaf Clusia Hedge, Clusia Guttifera 2 gal 30" o.c.	38
12. Creeping fig, Ficus Pumila on suspended cable grid, 18" o.c.	10
13. Sea Grape, Coccoloba unifera, 2 gal	8
14. Bermuda Sod, alternate- Empire Zoysia	
15. Brown Mulch- Scotts Brown- Alternate-Pine Bark Nuggets	
16. Existing 6' CBS privacy wall	
17. 6' PVC fence and gate	
18. 4" concrete walkway w 6" turf joints	
19. 4" concrete stoop and equipment pads	
20. Stone paver driveway on gravel base	
21. Gravel stoop	



LANDSCAPE/HARDSCAPE PLAN

SCALE 3/16"=1'-0"

A RENOVATION @:
193 SHELTER LANE
JUPITER, FLORIDA
33469

J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	7/2/20
SCALE	AS SHOWN
JOB NO.	
SHEET	

Plant Specifications

SPECIES AND SIZE shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, current edition. All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition published by the Florida Department of Agriculture and Consumer Services. All plants not otherwise specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry. Specimen means an exceptionally heavy, symetrical, tightly knit plant, so trained or favored in its development that first appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

GENERAL REQUIREMENTS

All plants shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Trees for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.

CONTAINER GROWN STOCK

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are sold. The plants shall have tops which are good quality and in a healthy growing condition. An established container grown plant shall be grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container. Plant root bound in containers are unacceptable.

MEASUREMENTS

Trees: Height shall be measured from ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Measurements are not to include any terminal growth. Single trunk trees shall be free of "V" crotches that could be points of weak limb structure or disease infestation.

Shrubs: Heights shall be measured from the ground to the average points where mature plant growth stops. Spread shall be measured to the end of branching equally around the shrub mass. Measurements are not to include any terminal growth.

Palms: Clear Trunk (C.T.) shall be measured from the ground at the time of installation to the point where the mature aged trunk joins the immature or green portion of the trunk or the head.

Overall height (O.H.) shall be measured from the ground at the time of installation to a point three quarters the length of the unopened bud. Palms with marred or burned trunks will not be accepted.

SOIL

Planting soil for use in preparing backfill for plant pits shall be added at a rate of seventy-five (75%) percent to twenty-five (25%) percent existing soil. This soil mix shall be used in all plant pits except Sabal palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil of loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and shall be free from heavy clay, stones, lime, plants, roots or other foreign materials or noxious grasses (such as Bermuda or nut grass) and noxious weeds. It shall not contain toxic substances which may be harmful to plant growth.

COMMERCIAL FERTILIZER

Two fertilizer shall be used in all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags, each bearing the Manufacturer's statement of analysis, and shall meet the following requirements: sixteen (16%) percent nitrogen, seven (7%) percent phosphorus, twelve (12%) percent potassium, plus iron. Tablet fertilizer ("Agriform" or equal) in 21 gram size shall meet the following requirements: twenty (20%) percent nitrogen, ten (10%) percent phosphorous, five (5%) percent potassium.

The two fertilizers will be applied at the following rates:

PLANT SIZE	16-7-12	"AGRIFORM" TABLET (21 Grams)
1 gal.	1/4 lb.	1
3 gal.	1/3 lb.	2
7-15 gal.	1/2 lb.	4
1"-6" caliper	2 lbs/1" caliper	2/1" caliper
6" and larger	3 lbs/1" caliper	2/1" caliper

"Florida East Coast Palm Special" will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper unless otherwise specified.

MULCH

Mulch material shall be three (3) inches of shredded melaleuca mulch (sterilized and free of seeds) or approved equal, moistened at the time of application to prevent wind displacement.

SUBSTITUTIONS

No substitutions of plant material types or size will be allowed without written consent of the Landscape Architect. B&B material will not be accepted as substitute for container grown material unless previously approved. Alternate substitutions shall be indicated in bid.

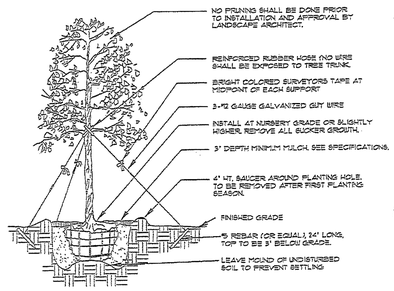
Existing Plant Removal

Remove 2 Sabal Palms	Relocate existing Guava- prune and root prune
Remove 3 Areca Palms	prior to relocation
	All other existing plant material to be removed

Notes

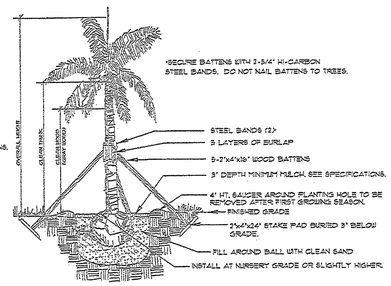
- Prior to the installation of any plant material all existing and imported soils shall be tested and amended to meet the soil specifications and specific plant needs as shown on this plan.
- All plant material, unless specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry.
- All plant materials and sod shall have an automatic irrigation system providing 100% coverage.
- Maintain positive drainage away from residence.
- All plant material shall be planted, fertilized and mulched as per the Plant Details and Plant Specifications noted on this plan.
- Landscape Contractor shall research plans and contact appropriate agencies to determine location of utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported immediately to the Landscape Architect.
- Landscape Contractor will be responsible for obtaining all necessary permits, licenses, inspections, and insurance as required by the State and local agencies.
- Invasive species, including Brazilian Pepper, Australian Pine, Melaleuca, Snake Plant, Scaevola and Earleaf Acacia shall be eradicated in the development area and removed from the site.

Planting Details



Tree Planting

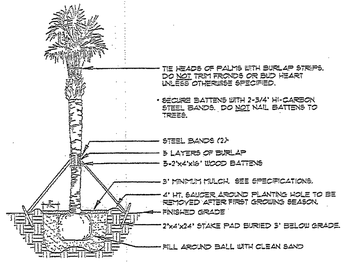
- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION
- BRACING - SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE (OR UNBRACE) ALL TREES TO PREVENT EXCESSIVE MOVEMENT & MAINTAIN A VERTICAL POSITION.



Palm Planting

APPLIES TO: ROYAL PALMS, QUEEN PALMS, ALEXANDER PALMS, MANILA PALMS.

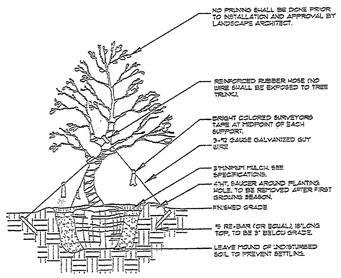
- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION
- BRACING: SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE ALL PALMS TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.



Palm Planting

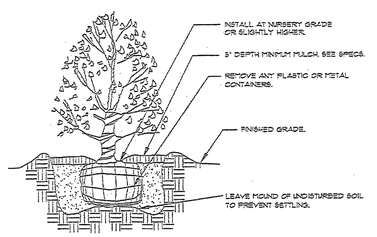
APPLIES TO: SABAL PALMS, WASHINGTON PALMS, CANARY ISLAND DATE PALMS, SENEGAL DATE PALMS

- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION



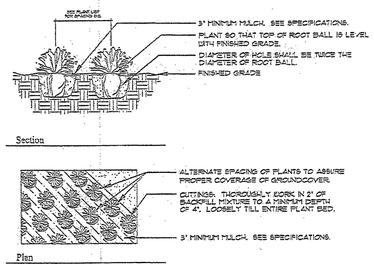
Irregular & Multi-Stem Tree Planting

FOR TREES 6"-14"HT.
NOTES:
SEE SPECIFICATIONS FOR BACKFILL MIXTURES AND FERTILIZATION
BRACING-SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE (OR UNBRACE) ALL TREES TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.



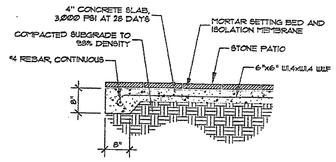
Shrub Planting

- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.



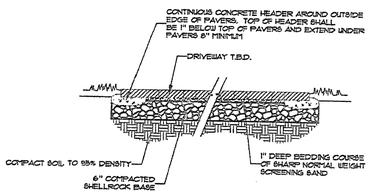
Groundcover Planting

- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.



ENTRY, POOL DECK DETAIL

NTS



DRIVEWAY

NTS

REVISIONS

A RENOVATION @:
193 SHELTER LANE
JUPITER, FLORIDA
33469

J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	7/2/20
SCALE	AS SHOWN
JOB NO.	
SHEET	

J. Scott Baruch & Associates 18360 SE Lakeside Drive Tequesta FL 33469

July 13, 2020

Bill Whiteford
Team Plan Inc.

RE: 193 Shelter Lane, Jupiter Inlet Colony FL 33469 - Zoning Narrative

Bill,

Regarding the 193 Shelter Lane Renovation and Second Floor Addition the following is a narrative description of the zoning parameters of the site as requested and per the correspondence and pre-review of the project during the schematic design phase last May.

The footprint of the existing residence covers 40% of the site. The proposed footprint reduces the footprint to 37.1% of the site but there isn't a practical way to make further reductions.

A second floor is being added to meet the family's needs. It adds 910 SF under air and is 27.5% of the first floor. A smaller second floor transforms the residence and creates an attractive façade which fits very comfortably on the site. We feel that it will enhance the street and neighborhood in addition to meeting the Goetschius family's needs. Also, the site coverage is below 50% and the roofline of the existing single story structure is 25' above grade as is the proposed two story structure. The table below includes the 32/50/60 calculations for reference.

		Allowed	Provided	%
Lot Area	8914 sf	4457		
First Floor	32% of lot area	2852	3304	37.1
Second Floor	60% of 1st Fl	1982	910	27.5
Total	50% of lot area	4457	4432	49.7

Though the footprint of the proposed residence exceeds the allowed 32%, every effort has been made to reduce it as much as possible. The only other viable option for the client would be to tear down the existing residence and construct new, which we feel is a less desirable option not only from a cost perspective but also because of a longer construction duration and more site disruption. Also, by renovating the existing structure more of the existing character and scale of the street and neighborhood is retained while improving the existing residence. We feel that this course of action is win, win for the client and the Colony. All other aspects of the project zoning are within limits. And the second floor ratio and total SF relative to maximum allowed on the site well within the limits.

As discussed in the pre-review last May, this was deemed a positive and acceptable course for the project to take.

Please don't hesitate to contact me at 561 768 6224 or jscottbaruch@comcast.net if you have questions or if I can assist further.

Sincerely,

J. Scott Baruch

July 22, 2020

GeoPoint Surveying, Inc.

Bill Whiteford, PhD, AICP,
Planning and Zoning Administrator
50 Colony Road
Jupiter Inlet Colony, Florida 33469

RE: 193 Shelter Lane, Jupiter Inlet Colony, Florida 33469 – Lot 193

Dear Bill,

We have reviewed the files, again, we received July 20, 2020 of Lot 193. We find items relevant to the code are listed below:

1. 50% Max. Lot area coverage calculation = 4,295 sq. ft. or 48%. 49% provided.
2.
a) 32% Max First Floor Coverage = 3,304 sq. ft. or 37.0%, the plan provided 37%.
b) 60% Max (of first) Second Floor = 909 sq. ft. or 27.5% - provided 27.5%.
c) 50% Total Floor Coverage 4,213 sq. ft. or 47% - provided 47%.
3. 25' Building Height to the top: 25' plan.
4. Roof eave: Plan shows 2' with 1.0' added at back patio doors.
5. Pool: (Spa) meets setbacks (10' from Side).
6. 2+ car garage, outdoor spaces provided. The driveway appears to be 16' wide, 20' flare.
7. Windows, review of the proposed right side has 14% calculated.
8. The building did meet the setbacks of 10' on the sides, 25' front (first floor) and 10' in the rear. And did meet the 32' setback for second floor front setback.
9. 30% Front Yard Landscape is: 80% Green.

A. As provided by Mr. Whiteford in a letter from July 23, 2020, to the Town for 2a) above: This request is to approve 37% first floor coverage at 3,304 sq. ft.
The existing first floor is being reduced from 3,616 sq. ft. or 40% of the lot.
B. 2b) & 2c) are calculated with second floor area "open to below" removed.

Sincerely,

Gary A. Rager, P.S.M.
License No. LB4828
Vice President
Director of East Coast Operations

J. Scott Baruch & Associates 18360 SE Lakeside Drive Tequesta FL 33469

July 7, 2020

Bill Whiteford
Team Plan Inc.

RE: 193 Shelter Lane, Jupiter Inlet Colony FL 33469
Grading and Drainage Statement

Bill,

Regarding the grading and drainage at the proposed renovation and second floor addition to the existing residence at 193 Shelter Lane, Jupiter Inlet Colony, the residence is an interior lot and the existing topography is essentially flat, draining to the east toward Shelter Lane. The grade elevations at the 2 adjacent properties are also aligned with subject property, without retaining walls and grade differences, and drainage from all sites flows gradually toward the front yard and the street of each property and into the neighborhood drainage infrastructure.

The proposed project scope plan does not include changes to grade and will not interfere with the current drainage at the subject property or any of the adjacent properties. Also, the existing FFE is no greater than the average of the adjacent properties to the north or south.

Please don't hesitate to contact me at 561 768 6224 or jscottbaruch@comcast.net if you have questions or if I can assist further.

Sincerely,

J. Scott Baruch

STATE OF FLORIDA
J. SCOTT BARUCH
AR0014964
REGISTERED ARCHITECT

7.8.20

Kimley»Horn

July 17, 2020

William Whiteford, PhD, Principal
Team Plan, Inc.
824 US1, No. 250
North Palm Beach, FL 33408

Re: ***Jupiter Inlet Colony***
193 Shelter Lane
Lot Drainage Plan Review

Dear Bill:

We are in receipt of the lot grading/drainage plans for the above subject property from J. Scott Baruch & Associates. We have reviewed the plans and offer the following comments.

- Please add proposed grades to the plans as indicated on the red lines in the area around the new pool deck. Its not clear how the drainage pattern is in that area.
- They should probably address grades for the new walkway in front.
- Since this is a re-model, the finished floor remains the same, I added adjacent finish floor elevations for informational purposes.
- The drainage statement provided assurances that the existing grades will remain as is, and after construction of the home, the homeowner will need to restore to those grades accordingly.

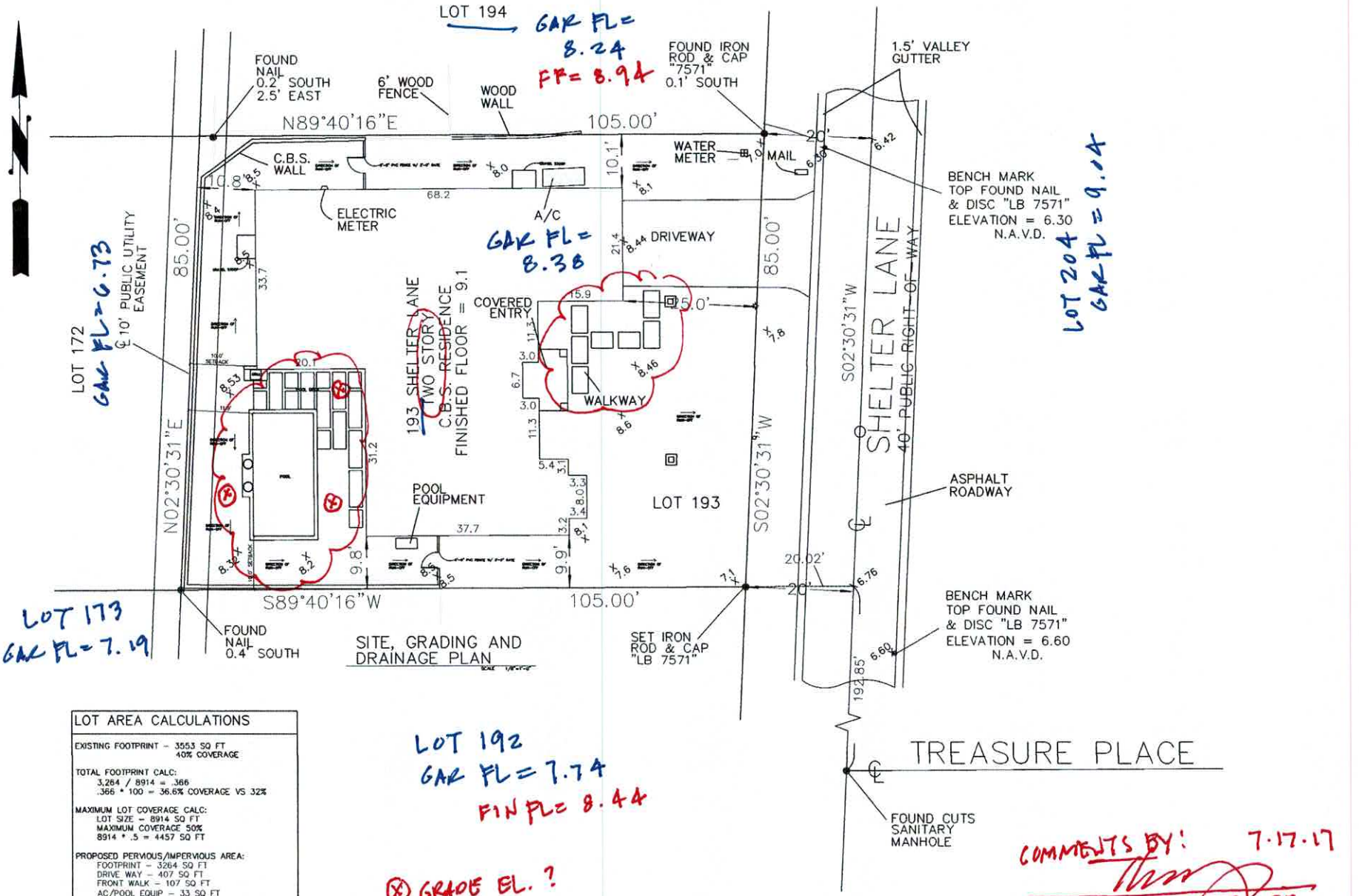
Please review the above and the attached redlined plans.

If you should require any additional information, please advise.

Very truly yours,

KIMLEY-HORN AND ASSOCIATES, INC.

Thomas C. Jensen, P.E
Colony Engineer



LOT AREA CALCULATIONS
EXISTING FOOTPRINT – 3553 SQ FT 40% COVERAGE
TOTAL FOOTPRINT CALC: 3,264 / 8914 = .366 .366 * 100 = 36.6% COVERAGE VS 32%
MAXIMUM LOT COVERAGE CALC: LOT SIZE – 8914 SQ FT MAXIMUM COVERAGE 50% 8914 * .5 = 4457 SQ FT
PROPOSED PERVIOUS/IMPERVIOUS AREA: FOOTPRINT – 3264 SQ FT DRIVE WAY – 407 SQ FT FRONT WALK – 107 SQ FT AC/POOL EQUIP – 33 SQ FT PRIVACY WALL – 101 SQ FT POOL – 318 SQ FT POOL DECK – 227 SQ FT TOTAL: 4457 SQ FT – 50% IMPERVIOUS AREA

COMMENTS BY: 7.17.17
THOMAS C. JENSEN, P.E.
COLONY ENGINEER

REVISIONS

A RENOVATION @:
MICHELE & JAY GOETSCHIUS
193 SHELTER LANE
JUPITER, FLORIDA
33469

J. SCOTT BARUCH & ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014984

DRAWN G.R.G.
CHECKED J.S.B.
DATE 7/2/20
SCALE AS SHOWN
JOB NO.
SHEET 1

171
GAR FL = 6.75

6.73

173
GAR FL = 7.19

LOT 194
F.F. = 8.94 NAVD
GAR. FL. 8.24 NAVD.

FOUND NAIL 0.2' SOUTH 2.5' EAST

6' WOOD FENCE

WOOD WALL

N89°40'16"E 105.00'

FOUND IRON ROD & CAP "7571" 0.1' SOUTH

1.5' VALLEY GUTTER

C.B.S. WALL

WATER METER

MAIL

BENCH MARK TOP FOUND NAIL & DISC "LB 7571" ELEVATION = 6.30 N.A.V.D.

ELECTRIC METER

A/C

GARAGE FLOOR = 8.38 NAVD

DRIVEWAY

10' PUBLIC UTILITY EASEMENT

LOT 172
GAR. FL. 9.04 NAVD.

85.00'

N02°30'31"E

193 SHELTER LANE
EXISTING ONE STORY
(W/ PROPOSED SECOND FLOOR ADDITION)
C.B.S. RESIDENCE
FINISHED FLOOR = 9.1

COVERED ENTRY

WALKWAY

POOL

POOL EQUIPMENT

LOT 193

S02°30'31"W

SHELTER LANE
40' PUBLIC RIGHT OF WAY

LOT 204
GAR. FL. 9.04 NAVD.

ASPHALT ROADWAY

S89°40'16"W 105.00'

FOUND NAIL 0.4' SOUTH

SITE, GRADING AND DRAINAGE PLAN

LOT 192
F.F. = 8.44 NAVD
GAR. FL. 7.74 NAVD.

SET IRON ROD & CAP "LB 7571"

BENCH MARK TOP FOUND NAIL & DISC "LB 7571" ELEVATION = 6.60 N.A.V.D.

192.85'

TREASURE PLACE

FOUND CUTS SANITARY MANHOLE

LOT AREA CALCULATIONS

EXISTING FOOTPRINT – 3553 SQ FT
40% COVERAGE

TOTAL FOOTPRINT CALC:
3,264 / 8914 = .366
.366 * 100 = 36.6% COVERAGE VS 32%

MAXIMUM LOT COVERAGE CALC:
LOT SIZE – 8914 SQ FT
MAXIMUM COVERAGE 50%
8914 * .5 = 4457 SQ FT

PROPOSED PERVIOUS/IMPERVIOUS AREA:
FOOTPRINT – 3264 SQ FT
DRIVE WAY – 407 SQ FT
FRONT WALK – 107 SQ FT
AC/POOL EQUIP – 33 SQ FT
PRIVACY WALL – 101 SQ FT
POOL – 318 SQ FT
POOL DECK – 227 SQ FT
TOTAL: 4457 SQ FT – 50% IMPERVIOUS AREA

COMMENTS BY:
7.23.2020
THOMAS C. JENSEN, PE
COUNTY ENGINEER

REVISIONS

A RENOVATION @:
MICHELE & JAY GOETSCHIUS
193 SHELTER LANE
JUPITER, FLORIDA
33469

J. SCOTT BARUCH & ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

DRAWN: G.R.G.
CHECKED: J.S.B.
DATE: 7/2/20
SCALE: AS SHOWN
JOB NO.
SHEET 1

BUILDING GROUP LLC

Jupiter Inlet Colony
Jobsite Requirements

1. Treat customer's property BETTER than your own.

2. Always leave customer's property (house, lawn, and job-site) in better condition that you found it.

3. Smoking is STRICTLY PROHIBITED on customer's property at all times (indoors and outdoors). Smoking at lunch or during breaks must be confined to inside your car or designated areas. Under no circumstances shall smoking debris (butts) be discarded on the ground. Take them with you!

4. Bathroom privileges shall be respected and not abused, and the facilities shall be left as clean as, or cleaner than found.

5. Finished floors in living areas or paths of access/egress shall be covered for protection; booties should be worn as well.

6. Job site shall be left broom-clean at the end of each work day. Debris shall be cleaned up and excess debris removed from site or places in proper disposal containers. All trades are responsible for the removal of their OWN debris daily.

7. At the conclusion of each business day, tools shall be disconnected, placed in a designated area, and the customer notified accordingly. Every precaution shall be made to prevent non-authorized persons accessing tools or dangerous items.

8. Profanity and offensive clothing is STRICTLY PROHIBITED on customer's property.

9. Food debris and wrappers from breaks and lunch shall be immediately placed in appropriate containers.

10. Job-sites shall be left secured at the end of each work day.

11. Jobsite hours in Jupiter Inlet Colony are from 8:00 a.m. to 5:00 p.m. any persons found on Jobsite prior to or after may be escorted offsite.

12. Parking is allowed onsite only or directly in front of jobsite on one side of street to still allow traffic flow.

13. If large deliveries are to be accepted onsite, there must be a flagger onsite to allow constant traffic movement for other residents in the neighborhood. Traffic flow must not be impeded for local residents for any period of time.

357 Cypress Drive S Unit 13, Tequesta FL 33469 Tel : 561-513-0391 : 772-260-9179 Email : chris@ceabuildinggroup.com

BUILDING GROUP LLC

14. Jobsite signage is to be 12” x 16” and be place a minimum of 10 ft from edge of paved road. A permit must be received for signage.

I understand the codes of conduct and that working safely is a condition of my companies continued relationship with CEA Building Group LLC.

Applicant Signature: _____

Date: _____

JUPITER INLET COLONY
BUILDING AND ZONING COMMITTEE MEETING

50 Colony Road
Town Hall

Conditions of Approval:

1) A temporary area consisting of compacted gravel shall be installed on the lot for contractor parking.

2) Temporary filters shall be installed in the road drains within close proximity of the site to prevent sand and silt from entering the town's drainage system. Filters shall be cleaned thoroughly weekly and after each storm event. Sand and silt in the filters shall be properly disposed and not emptied into the town's drainage system.

3) A temporary screen shall be installed and maintained along the front of the property that shields construction activity from view to the extent possible.

4) The road in front of the lot shall be swept and cleaned nightly and kept clear of debris, runoff, sand, and vegetation at all times.

5) The contractor shall be responsible for the repair and maintenance of any damage in the town right-of-way and on private property as the result of construction activity.