



Public Works Director Memo

Meeting Date: 14 MAY 2024

Topic: Kwik Trip

This memo is in regards to all of the Kwik Trip agenda items.

Attached is a draft copy of the submission documents.

Kwik Trip would like to expand their operations at the Pardeeville store. With that in mind, they have submitted several documents required to facilitate and move the project forward. Their team has worked very closely with Village staff and MSA to hammer out many details so that the Village's interests are being met while also facilitating growth and development within the Village.

Kwik Trip – Site Plan

The site plan has been a topic over many months indicating elements that need to occur for this project to move forward. For instance, the alley vacation, which must occur for the project to commence. Looking at the project documents as a whole, MSA and Village staff has worked diligently with the Kwik Trip team to ensure the Village's infrastructure is maintained and moved to adequate areas. For instance, watermain will be relocated within this project. This has been rerouted to bend at the alley and run out to second street. The existing water main will be vacated in place. The electrical system will also be relocated. Staff is currently working on supplying a quote for service for the electrical system. The two biggest topics have been a pond on the southwestern corner of the property and the four access points to the property. In discussions, the original fear from the Village was that it did not want an overgrown pond along the main artery within the Village and at the, arguably, biggest intersection. The Village then requested the inclusion or spec of an underground stormwater storage facility. Kwik Trip is vehemently against an underground stormwater storage facility, but have included a maintenance agreement for the pond to ensure its aesthetics. Further, the Kwik Trip team has assured staff that the vegetation used will be commercial turf and not the natural vegetation that is commonly used. It is staff's opinion that, with this agreement and specification on the construction, this could prove to be a very nice green space for the Village, especially on the main artery. This could prove a very inviting space into the community, especially in a heavily trafficked space. Next, is the four access points. When looking through the site plan, their claim is that the access points is for truck traffic. They also claim, to staff's comments of four being too many, that they will actually be eliminating access points because there are eleven existing. Now the last comment is true. However, it is still staff's opinion, and previous Village belief that four access points, especially two on the main road was too many. The Kwik Trip team has made it very clear that the four is non-negotiable, and the Village could see this project be bumped down the priority list should it choose to stand firm. Ultimately, the Village saw this as a safety risk due to its close proximity to the four-way stop. It was staff's opinion that the elimination of the southern main street access point would be feasible, but would require a layout change on their end. Kwik Trip team does not accept that as an option and is requesting the four access points. Every other item, besides the stormwater pond and the access points, the Kwik Trip team has been very receptive and has worked with the Village staff and MSA on.

Kwik Trip – Rezoning

To properly allow for the property to be combined and to allow for the uses the property must be zoned homogeneously. Split zoned property is not an allowable trait for a parcel. Likewise, should some parcels be zoned separately, it will limit the type of allowable uses on those properties.

Kwik Trip – Lot Combination

This is the final submission topic and most likely the easiest. The overall site encompasses many parcels due to the original plat and separate owners. To allow for the new project to meet all Village ordinances and setbacks, the parcels must be combined into one parcel.

Staff has included the civil plan set, but was forced to remove several pages so that the document was not too large to send out. The pages retained were the most important and relevant to discussion. Should any member want to review the full copy, please reach out to staff accordingly.

Plan Commission reviewed the documents and made the same motions as below with all but one passing on a 4-1 vote. The other was passed on a 5-0 vote.

Should the body agree with the Plan Commission, a motion would be in order to approve of the submission documents for Kwik Trip. This will entail the following motions:

- Motion to look at vacating the requested section of the alley [NOT APPROVING IT YET].
- Motion to approve the lot combination conditional on the approval of a rezoning.
- Motion to approve the rezoning of lots 11171-39, 11171-40, and 11171-4.C1 from B-2 (Business District) to B-1 (Business District).
- Motion to approve of the site plan [conditions can be made if the Board desired to do so].

Respectfully,
Austen



Store Engineering

PHONE 608-793-5555

FAX 608-781-8960

1626 Oak St., P.O. Box 2107

La Crosse, WI 54602

www.kwiktrip.com

April 2, 2024

Village of Pardeeville
Austen Frederickson – Director of Public Works
114 Lake Street
Pardeeville, WI 53954

RE: Kwik Trip #314 Pardeeville Rebuild

Dear Mr. Frederickson:

This letter is intended to accompany the submittal for our application to the Village of Pardeeville for the requested Site Development Plan Review. Please accept this letter as our request to be placed on the next available Planning & Zoning Commission Meeting Agenda as well as the Council Meeting Agenda.

Kwik Trip, Inc. is proposing the construction of a convenience store with 10 dispenser fueling canopy. Included in the submittal is the Cover Letter, Civil plans, Stormwater Calculations, Building/ Canopy Elevations, and the Sign plan.

Operations

The requested hours of operation will be 24 hours for all uses. The type of products that will be sold will be similar to that of our existing stores throughout the mid-west: fresh produce, bakery and dairy, hot and cold food and beverages, fresh meat and groceries, tobacco products, lotto, convenience store merchandise, alcohol, gasoline, diesel, E-85, ice and propane. The outside merchandising of products is being requested next to the store (two ice chests and one propane cage) and underneath the proposed main canopy. To ensure that the freshest products are sold in our stores, we request that daily deliveries be allowed.

OUR MISSION

To serve our customers and community more effectively than anyone else by treating our customers, co-workers and suppliers as we, personally, would like to be treated, and to make a difference in someone's life.

Buildings, Architecture and Site Design

The architectural elements in this state-of-the-art building consist of a full brick cladding, standing seam metal roof, store front aluminum openings and stucco accents. Extensive landscaping, modern storm water facilities, monument and wall signage, customer and employee parking, concrete paving with curb and gutter are also included in the overall site design.

Investment in the City

This project will be a multi-million dollar investment in the Village of Pardeeville. Not only in the physical improvements and development of a vacant parcel, but also an investment of approximately 5 to 10 new permanent jobs in the City. The projected payroll here is estimated to be approximately \$500,000 annually.

Community Partner

We pride ourselves in being an asset in the communities where we are located. Families can walk or ride their bikes to our stores. Retirees on fixed income can access fresh groceries like milk, eggs, bread and fruit just steps from their car. We take pride in giving back to the communities we serve with charitable donations and by partnering with local non-profits. Kwik Trip would be happy to provide any additional information or answer any questions or concerns the Village of Pardeeville may have with our submittal. Please feel free to call or email with any questions you may have.

Sincerely,

Trent Kastenschmidt
Project Manager
Store Engineering
TKastenschmidt@kwiktrip.com
608-793-6456





Store Engineering

FAX 608-793-6237

1626 Oak St., P.O. Box 2107
La Crosse, WI 54602

www.kwiktrip.com

Memo

To: Austen Frederickson –Village of Pardeeville Public Works Director
Bill Pinnow – MSA Professional Services, Inc.

From: Trent Kastenschmidt – Kwik Trip, Inc.

Date: 4/2/2024

Re: Kwik Trip #314, Pardeeville, WI

Comments from Kwik Trip - Site Plan Review dated February 20, 2024, have been addressed as follows:

General Comments

1. Where curb and gutter is being replaced in the public right-of-way should have 2-feet of asphalt in front of curb removed to allow room for plate compaction after concrete is cured.
 - Added
2. The existing storm structure and casting at the proposed entrance on East Chestnut Street should be replaced with this proposed work.
 - Added
3. Municipal code 58-158(3) indicates Openings for vehicular ingress and egress in a business/industrial district shall not exceed 30 feet at the property line and 40 feet at the curb opening, unless otherwise authorized by the director of public works. All four driveways exceed regulations as they measure 35' & 40' wide at the property line.
 - We have decreased openings to 30 and 35'. Truck turning movements are shown at driveways that we feel 35' are needed. These driveways will have truck deliveries in and/or out.
4. In previous correspondence, the Village requested reduction in number of ingress/egress points. The Village requests that the number of ingress/egress points decrease to three by removing the southernmost entrance along North Main Street.
 - We feel all four are needed for proper and safe turning movements. This is a small site and truck movements are the main reason for four. It will also help flow in and out of the site for all vehicles. We would also like to point out there are currently 11 driveways on our proposed site. We will be bringing that number down to 4.

OUR MISSION

To serve our customers and community more effectively than anyone else by treating our customers, co-workers and suppliers as we, personally, would like to be treated, and to make a difference in someone's life.

5. Since the alley currently has one-way traffic, terminating the alley at the northern project limits would require the “ONE WAY DO NOT ENTER” sign to be relocated to the proposed termination point. Also, a “STOP” sign should be installed for traffic heading south.
 - Added
6. Sidewalks currently do not extend through driveway openings. Sidewalks shall extend through driveway openings.
 - Added
7. Relocation plan for overhead electric to be provided for review.
 - I have been in contact with Austen about this. We are currently waiting on an estimate.
8. Further discussion required with Village as to abandonment or relocation of alley.
 - Alley has been relocated to Second Street instead of Main Street
9. WDOT permitting for access and work within right of way to be provided to Village along STH 22.
 - We have been in contact with WisDOT about this. Driveway permits were submitted in early March.
10. Municipal code 58-345(d) states residential fences shall have a two-foot rear and side yard setback from a property line unless abutting neighbors agree and sign a sworn/notarized statement to be on file at the village office; then a fence may be placed on the property line but must not interfere with any utilities. Plans do not show a measurement indicating compliance with the standard setback. Will setback be maintained or will notarized statement with abutting landowner be provided. In addition, please provided detail including color and material of proposed 6’ privacy fence.
 - We are abiding by the setback. Our rendering shows a tan color, but we can switch to others like white if desired. Fence detail is shown in submittal packet.
11. Parking satisfies the current requirements for the Village of Pardeeville. The southernmost parking stall adjacent to E Chestnut St is concerning due to the necessary turning movements in and out of the stall in relation to the driveway entrance/egress.
 - We have removed a parking stall to keep movements away from the driveway.

Site Design

1. Sheet C300 – Curb and gutter north of the existing catch basin on the north side of the southern entrance along STH 22 should be replaced up to the northern construction joint. This work should include replacing the casting and adjustment rings. This note is written based on the current configuration and will not apply if the southern entrance is removed from the site plan.
 - Added

Watermain

2. The 6-inch watermain in front of store should be abandoned from the water tee at East Chestnut Street northern project limits. The remaining existing 6-inch watermain should be looped to the 8- inch watermain on Second Street. If a high point in the watermain is created with this work, a hydrant will be required as an air release. An easement will be required for this segment. Additional removal and replacement of the pavement will need to be shown on the plans.
 - Added
3. Based on the comment above, the owner will be required to have a water main extension permit approved by WDNR.
 - Agreed and we will file after approval.

4. Proposed water service should connect to loop in previous comment.
 - **Added**
5. The existing water service to 104 North Main Street needs to be abandoned in place (assuming the lateral is 2" or less). Village staff shall be present at time of abandonment.
 - **Shown on plans and agreed.**

Landscaping

6. Landscaping satisfies the current requirements for the Village of Pardeeville.

Signage

7. Signage satisfies the current requirements for the Village of Pardeeville.

Photometric Plan

8. Photometrics along the southern residential property are +0.6-+1.7. Photometrics shall be modified to be less than 0.5 fc adjacent to residential property boundaries.
 - **This has been updated.**

Stormwater

9. Sheet C181 – Provide existing and proposed pervious, impervious and land disturbance area measurements.
 - **Added**
10. The stormwater retention pond and stormwater report is currently under review by MSA and has not been completed at this time. Village is currently undecided as to allow an open stormwater retention facility at this location; however if allowed, a long term maintenance plan, screening and landscaping will be required to ensure that pond area remains visually appealing. Village also requests alternative water treatment storage, preferably underground, be evaluated by Kwik Trip. Further discussion between Village and Kwik Trip is required.
 - **We are pushing for a wet pond. With a long-term maintenance agreement in place we can keep it visually appealing. We think this is the best option for us and the village.**
11. Stormwater Notice of Intent will be required from WDNR to be provided to Village due to land disturbance exceeding one acre.
 - **Agreed and we will file closer to construction.**

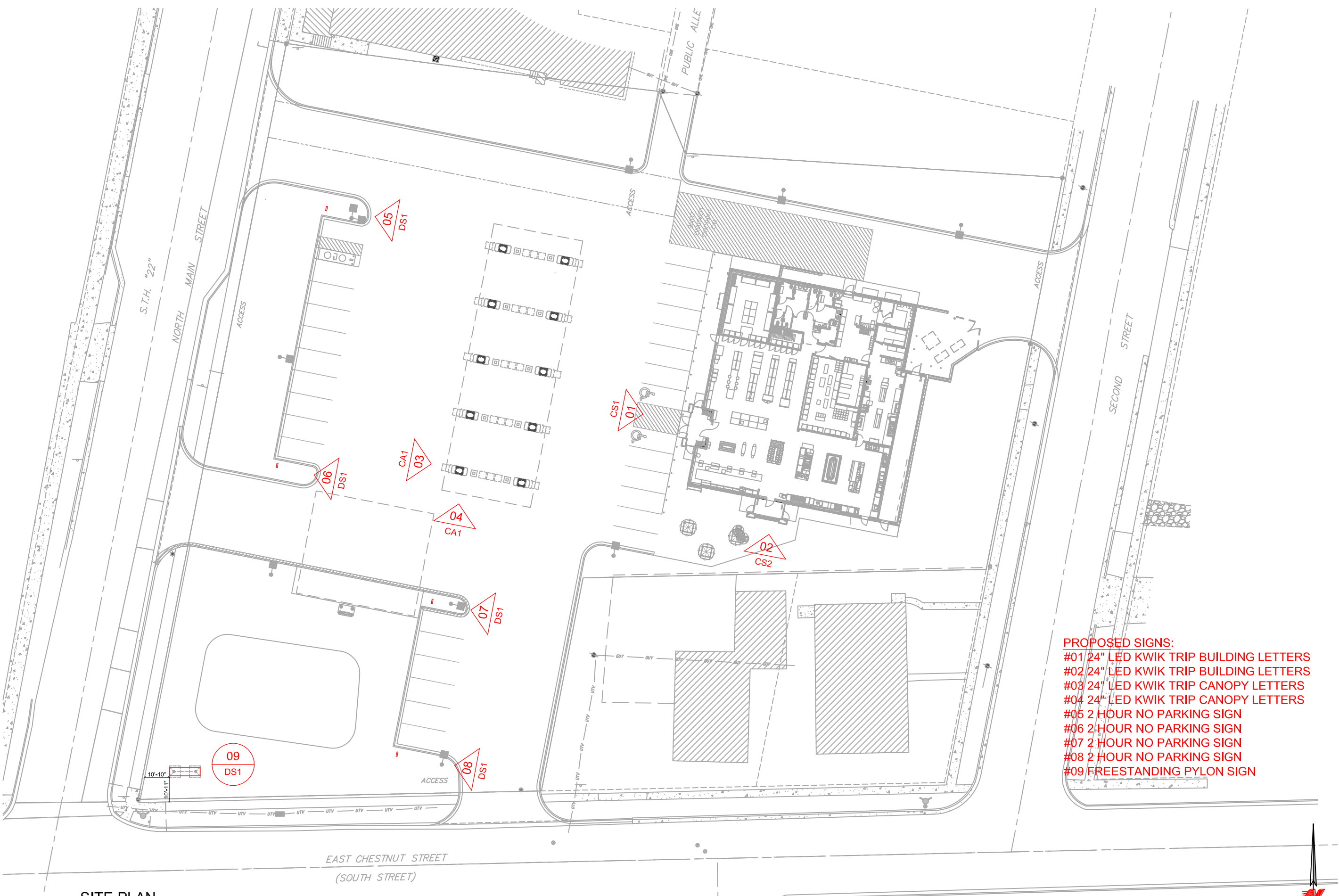
Please let me know if you have any additional comments.

Sincerely,

Trent Kastenschmidt
Project Manager
Store Engineering
Tkastenschmidt@kwiktrip.com
608-793-6456



KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960



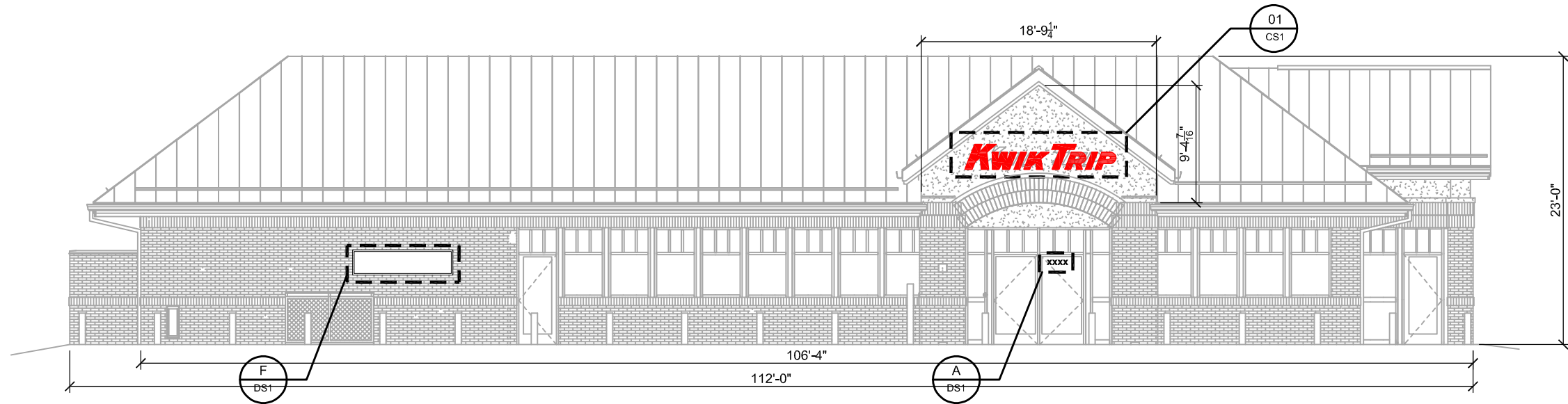
PROPOSED SIGNS:
#01 24" LED KWIK TRIP BUILDING LETTERS
#02 24" LED KWIK TRIP BUILDING LETTERS
#03 24" LED KWIK TRIP CANOPY LETTERS
#04 24" LED KWIK TRIP CANOPY LETTERS
#05 2 HOUR NO PARKING SIGN
#06 2 HOUR NO PARKING SIGN
#07 2 HOUR NO PARKING SIGN
#08 2 HOUR NO PARKING SIGN
#09 FREESTANDING PYLON SIGN

SITE PLAN	CONVENIENCE STORE #314	
	108 N MAIN ST PARDEVILLE WI	
	#	DESCRIPTION
DATE		
DRAWN BY	KMK	
SCALE	MULTIPLE	
PROJ. NO.	0001	
DATE	2024 01-12	
SHEET	SP1	

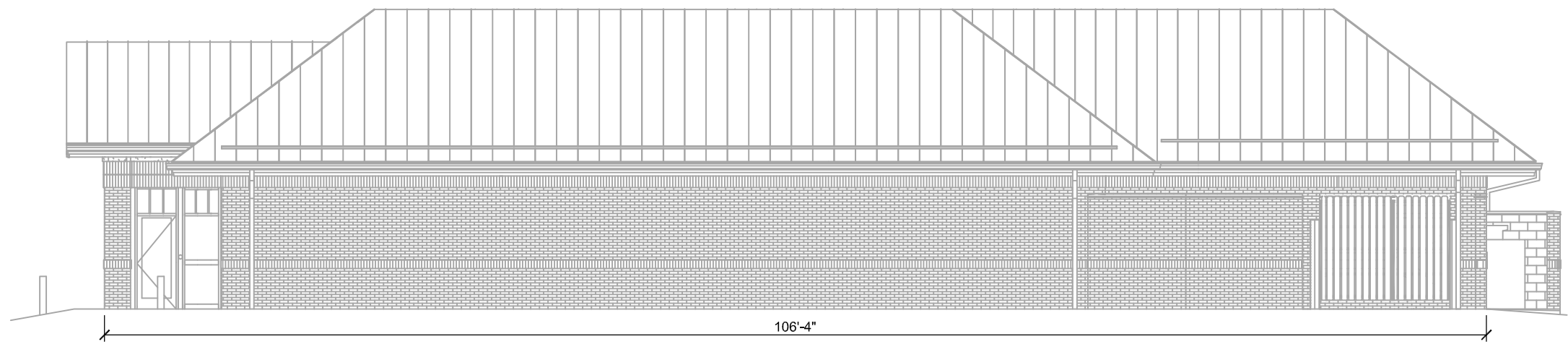
SITE PLAN
1" = 40'-0"

NOT FOR CONSTRUCTION. NOT APPROVED BY LOCAL JURISDICTION





STORE ELEVATION
SCALE: 3/32" = 1'-0"



STORE ELEVATION
SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGN #01
SCALE: 1/2" = 1'-0"

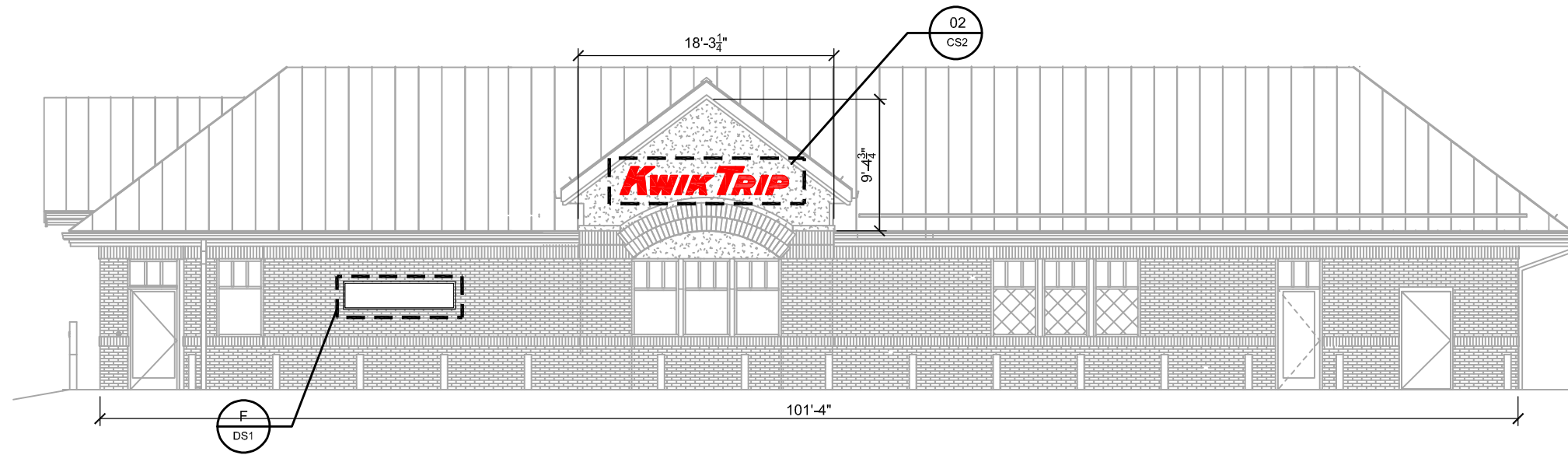


KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CONVENIENCE STORE SIGNAGE
CONVENIENCE STORE #314
108 N MAIN ST
PARDEEVILLE WI

#	DATE	DESCRIPTION

DRAWN BY	KMK
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2024 01-12
SHEET	CS1

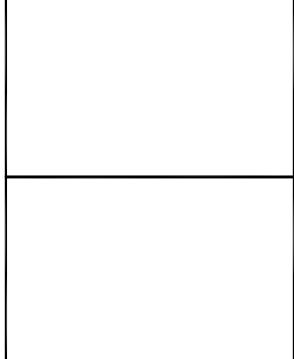


STORE ELEVATION

SCALE: 3/32" = 1'-0"



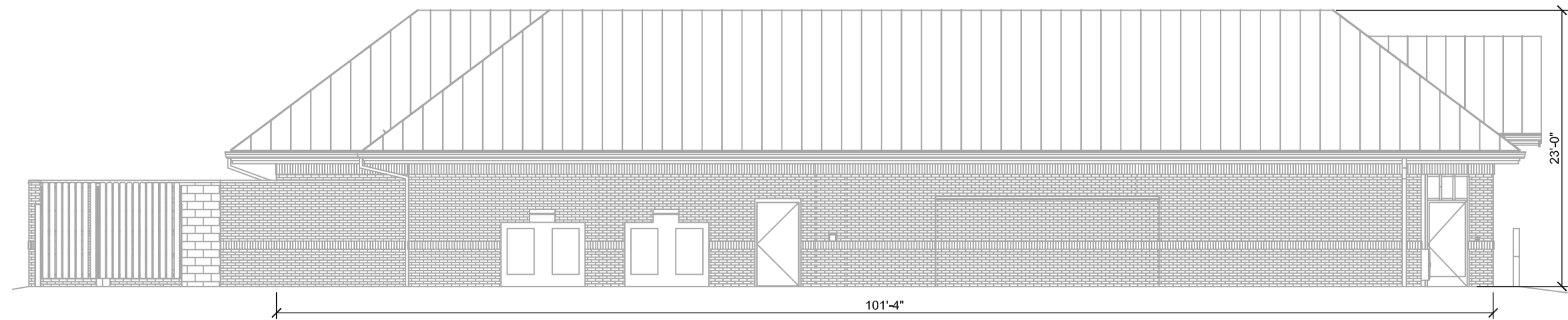
KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960



CONVENIENCE STORE SIGNAGE
CONVENIENCE STORE #314
108 N MAIN ST
PARDEEVILLE WI

#	DATE	DESCRIPTION

DRAWN BY: KMK
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2024 01-12
SHEET: CS2



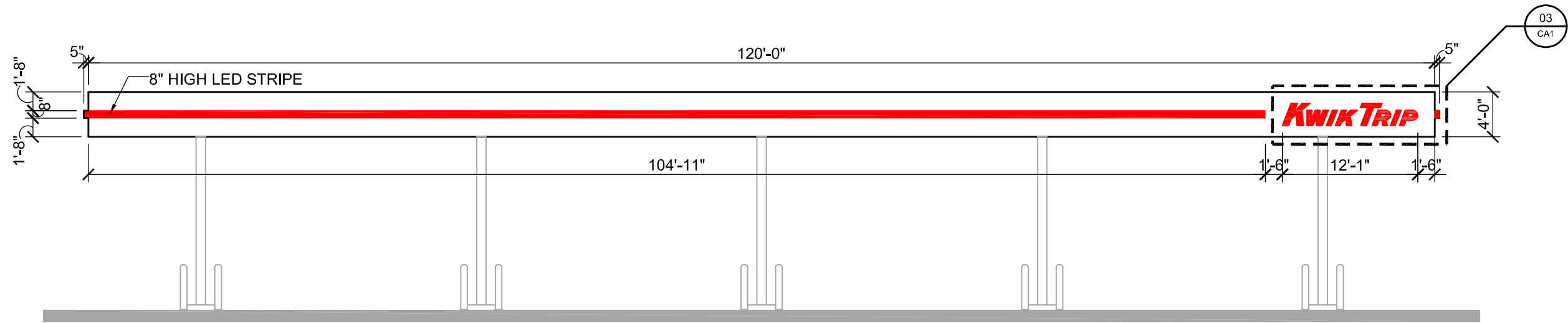
STORE ELEVATION

SCALE: 3/32" = 1'-0"



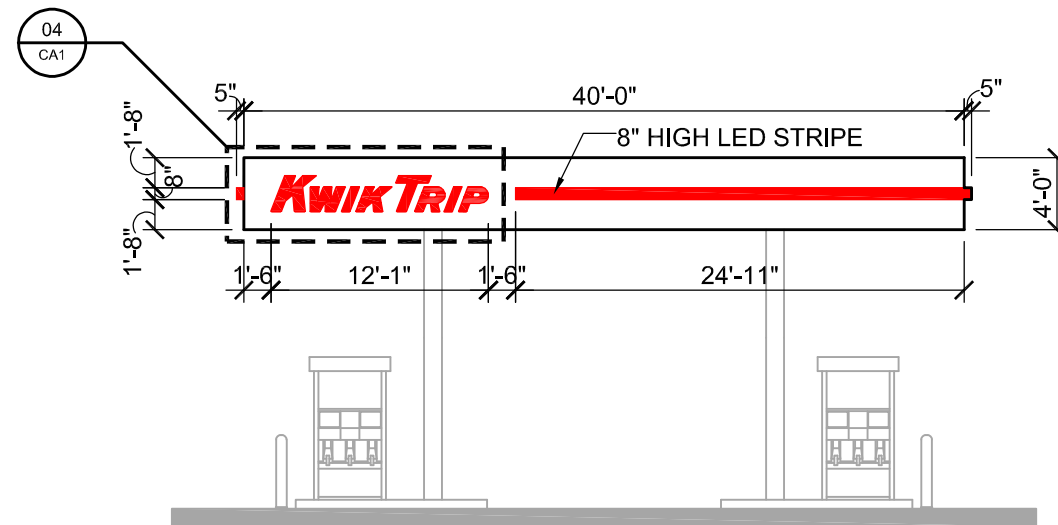
LOGO DETAIL - SIGN #02

SCALE: 1/2" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGNS #03 & #04

SCALE: 1/2" = 1'-0"

**KWIK
TRIP**

**KWIK
STAR**

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

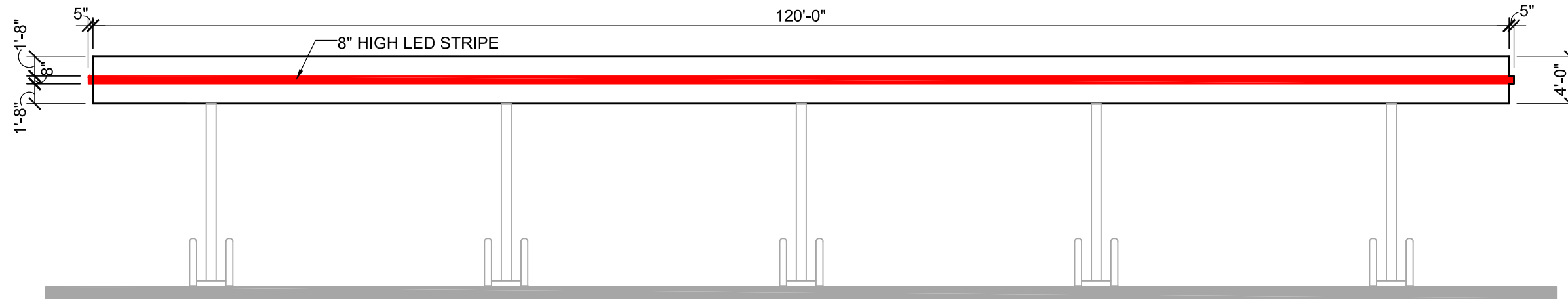
CANOPY SIGNAGE

CONVENIENCE STORE #314

108 N MAIN ST
PARDEEVILLE WI

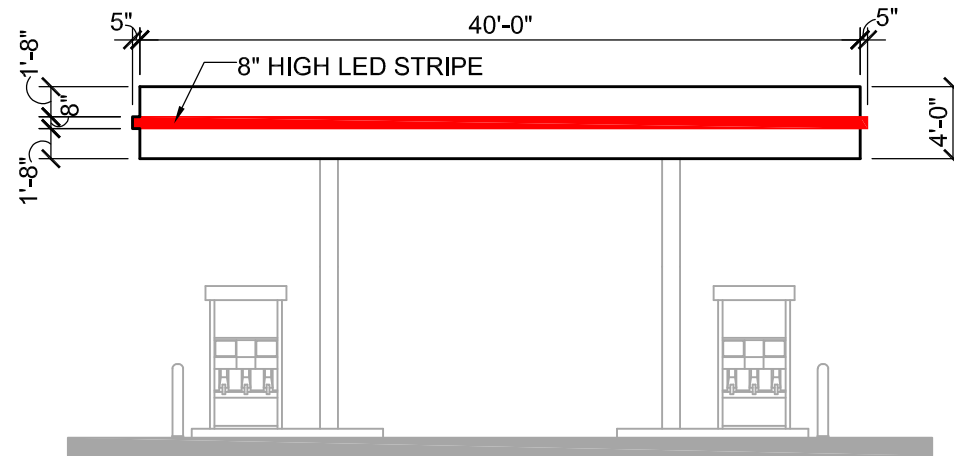
#	DATE	DESCRIPTION

DRAWN BY: KMK
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2024 01-12
SHEET: CA1



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"

**KWIK
TRIP**

**KWIK
STAR**

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CANOPY SIGNAGE

CONVENIENCE STORE #314

108 N MAIN ST
PARDEEVILLE WI

#	DATE	DESCRIPTION

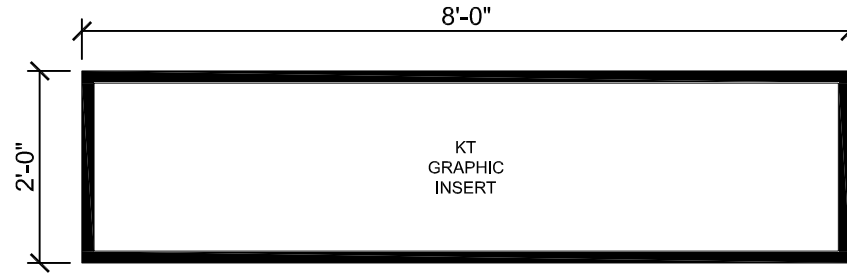
DRAWN BY: KMK
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2024 01-12
SHEET: CA2



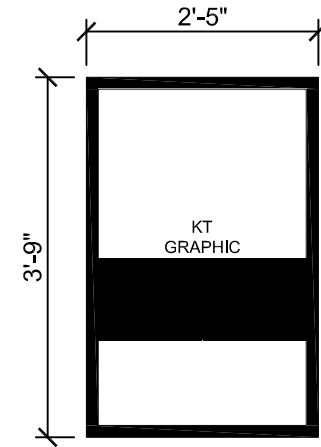
5" WHITE VINYL ADDRESS LETTERS
ON GLASS DOOR AS SHOWN ABOVE
(VERIFY ACTUAL NUMBERS WITH PROJECT MANAGER)

ADDRESS SIGN A

SCALE: 3/4" = 1'-0"



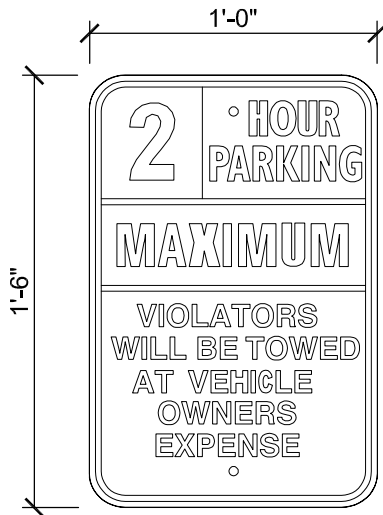
"SIGN F"
BLACK ALUMINUM FRAME



"SIGN G"
BLACK ALUMINUM FRAME

INFORMATIONAL SIGNS F & G

SCALE: 1/2" = 1'-0"



GENERAL SPECIFICATIONS

18"x12" ALUMINUM SIGN
Qty: 4
Size: 18"x12"
Material: Standard white blank
Finish: cut vinyl graphics
Pole Size:
Pole Material:
Pole Finish:
Install:
HAGL:
OAH:

#09 KWIK TRIP FREESTANDING PYLON SIGN

SEE ATTACHED ARTWORK



KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

DIRECTIONAL SIGNAGE

CONVENIENCE STORE #314

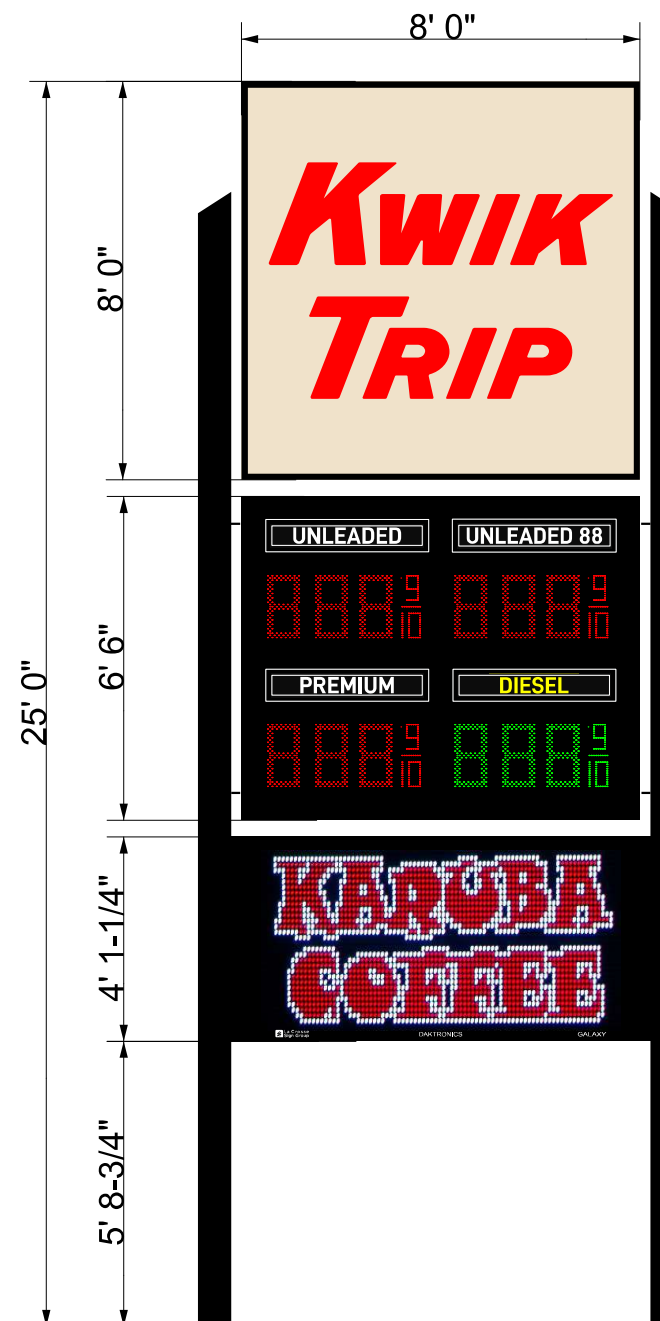
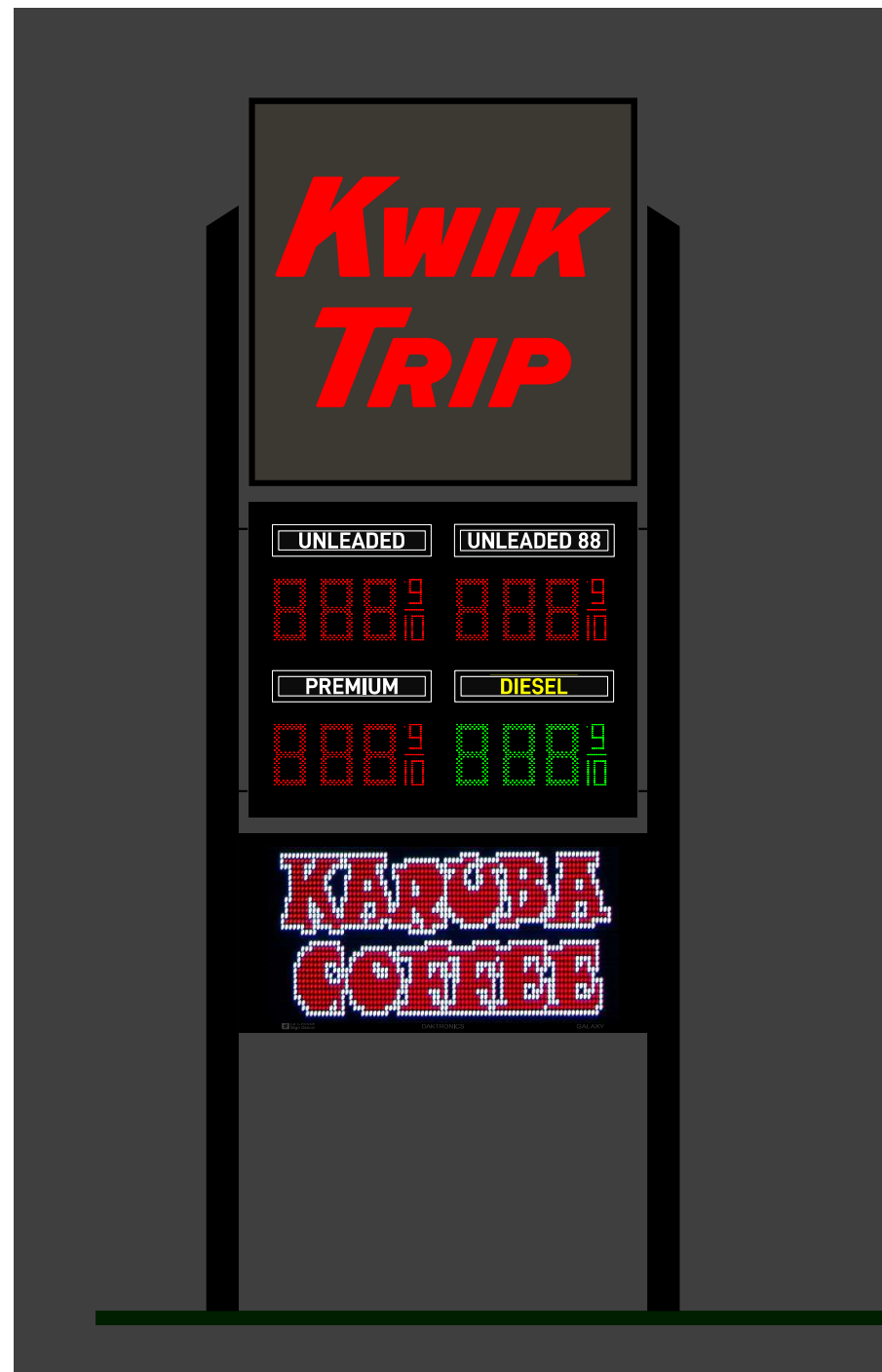
108 N MAIN ST
PARDEEVILLE WI

#	DATE	DESCRIPTION

DRAWN BY: KMK
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2024-01-12
SHEET: DS1

2 HOUR PARKING SIGNS #05, #06, #07 & #08

SCALE: 1 1/2" = 1'-0"



ID Cabinet
8' 0" x 8' 0"
64 SF

16" Pricer Cabinet
6' 6" x 8' 0"
52 SF

Message Center
Overall SF 30.57

Total SF
146.57



Approved by: _____ Date: _____ Landlord: _____ Date: _____

This artwork is copyrighted and may not be otherwise used without permission. It is the property of La Crosse Sign Co., inc., and must be returned to them.

lacrossesign.com



1450 Oak Forest Drive Onalaska, WI 54650 608-781-1450
2242 Mustang Way Madison, WI 53718 608-222-5353
2502 Melby Street Eau Claire, WI 54703 715-835-6189

DESIGN

Drawing: Danielle Hadley
Sign Type: Pylon
Date Created:
Last Modified:
Scale:

SALES

Job Name: Kwik Trip
Job Address:
Salesperson:
Job Number: 121156

FILE

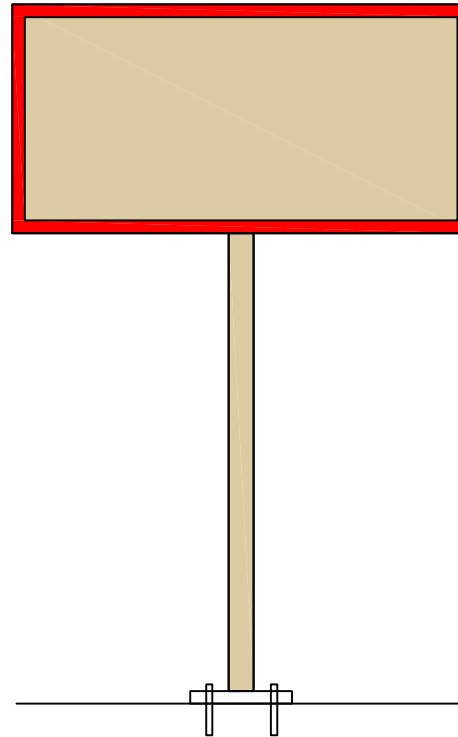
Revision Number:
Job File Location:

COLOR KEY

- a NA 208080 Beige
- b Black S/G paint
- c #2283 Red Acrylic
- d White of Acrylic
- e NA 307880 Hemlock Green
- f Black (230-22)
- g Yellow (230-015)

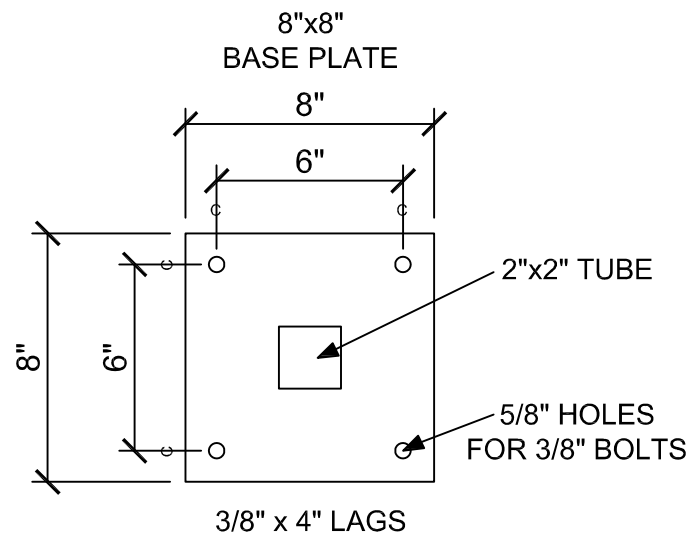
*COLORS ON SKETCH ARE ONLY A REPRESENTATION. ACTUAL COLOR OF FINISHED PRODUCT MAY DIFFER

SINGLE SIDED NON-LIT DIRECTIONAL SIGN



DIRECTIONAL SIGN EXAMPLE

SCALE: NTS



NOTES:

- Sign vendor to anchor sign/s to concrete pad
- Sign vendor to anchor signs with (4) 3/8" x 4" lags & shield anchors. Use stainless steel hardware
- Stainless steel flat washers may be used under base plate as needed to shim sign to be plumb
- Concrete Pad installed by others (Kwik Trip/Kwik Star Concrete Vendor)
 - Concrete Pad to be 5'x 36"x 36"
 - Center of footing to be installed 48" from face of curb



DIRECTIONAL SIGN BASE PLATE

SCALE: 1 1/2" = 1'-0"

	KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960	PROJECT: Store- All Stores Date - 08/31/2023 DESCRIPTION: All Directional signs will have a single post per the detail above	SCB #1



KWIK TRIP, Inc.
 P.O. BOX 2107
 1626 OAK STREET
 LA CROSSE, WI 54602-2107
 PH. (608) 781-8988
 FAX (608) 781-8960

10 MPD

1 FRONT ELEVATION



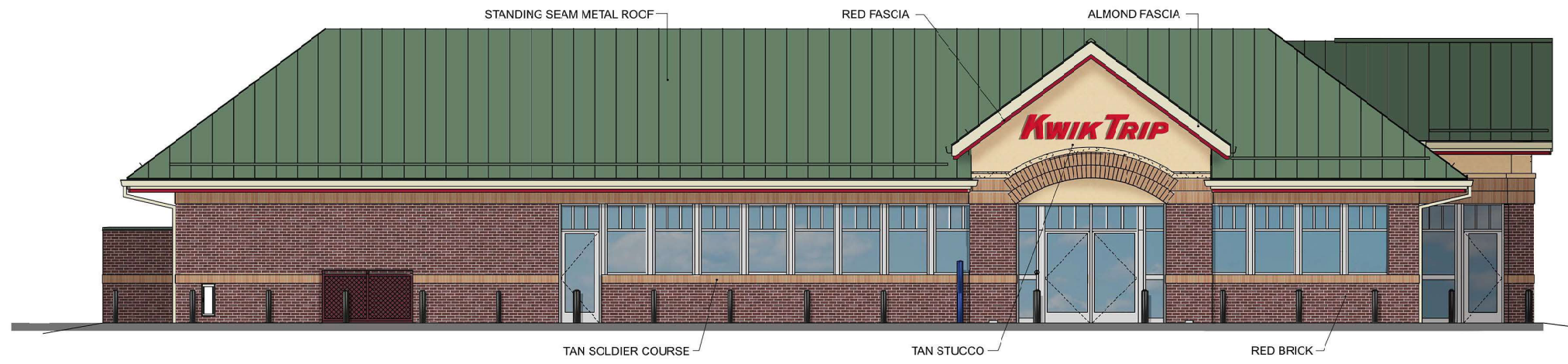
2 SIDE ELEVATION



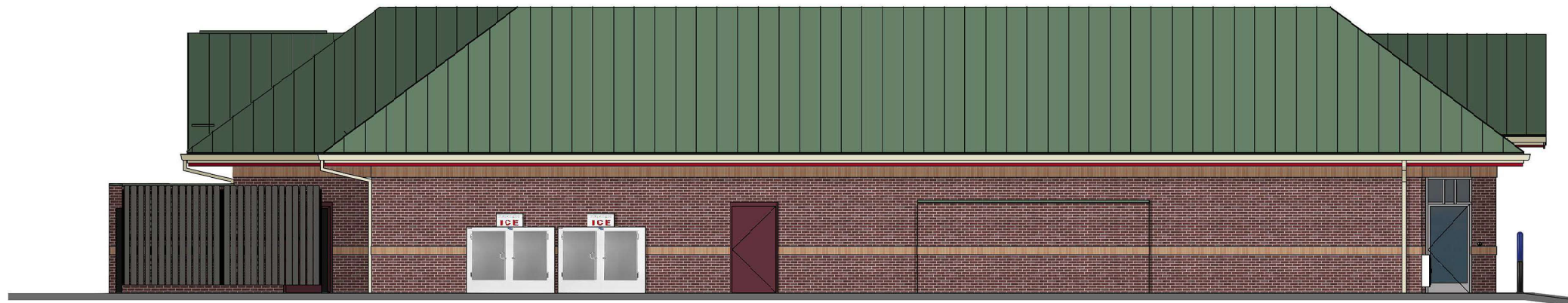
KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

10 MPD

1 FRONT ELEVATION



2 LEFT ELEVATION



3 REAR ELEVATION



4 RIGHT ELEVATION



**Kwik
TRIP**

**Kwik
STAR**

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
P-1 (608) 731-8686
FAX (608) 731-8660



FRONT RIGHT VIEW



FRONT LEFT VIEW



REAR RIGHT VIEW



REAR LEFT VIEW



FRONT ELEVATION

**KWIK
TRIP**

**KWIK
STAR**

KWIK TRIP, Inc.
P. O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

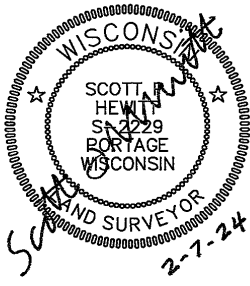
EXTERIOR ELEVATIONS
RIGHT HAND GEN 3



As prepared by:

G GROTHMAN & ASSOCIATES S.C.
PROFESSIONAL SERVICES
625 EAST SLIFER STREET, P.O. BOX 373 PORTAGE, WI 53901
PHONE: PORTAGE: (806) 742-7788 SAUK: (806) 644-8877
E-MAIL: surveying@grothman.com
(RED LOGO REPRESENTS THE ORIGINAL MAP)

SEAL:



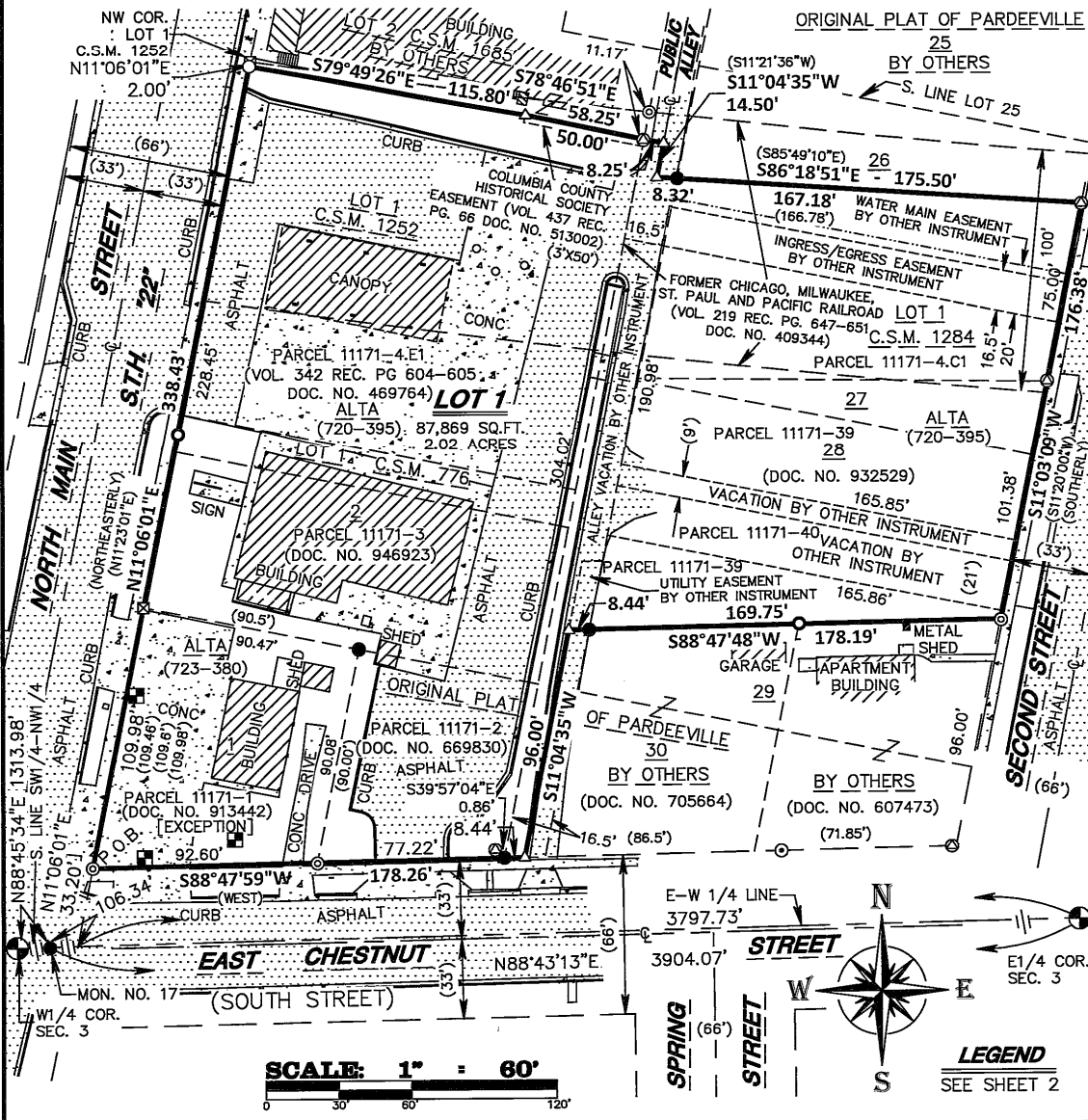
G & A FILE NO. 1123-603

DRAFTED BY: T. KASPER
CHECKED BY: IG
PROJ. 720-395
DWG. 1123-603CSM SHEET 1 OF 4

COLUMBIA COUNTY CERTIFIED SURVEY MAP NO. _____ GENERAL LOCATION

Volume _____, Page _____

BEING LOT 1, C.S.M. NO. 776 AS RECORDED IN VOL. 3 OF C.S.M.S, PAGE 251 AS DOCUMENT NO. 431289 AND PART OF LOT 1, C.S.M. NO. 1252 AS RECORDED IN VOL. 6 OF C.S.M.S, PAGE 14 AS DOCUMENT NO. 469446, ALL OF LOT 1, C.S.M. NO. 1284 AS RECORDED IN VOL. 6 OF C.S.M.S, PAGE 46 AS DOCUMENT NO. 471235, ALL OF LOTS 1, 2, 27, 28, PART OF LOT 29 AND PART OF A VACATED PUBLIC ALLEY IN THE ORIGINAL PLAT OF PARDEEVILLE, LOCATED IN SE1/4 OF THE NW1/4, SECTION 3, T. 12 N, R. 10 E, VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN.



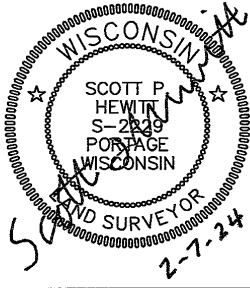
OWNER: ZRH LLC
1626 OAK STREET
LACROSSE, WI 54602-2107

CLIENT: KWIK TRIP, INC
1626 OAK STREET
LA CROSSE, WI 54602

As prepared by:

GA GROTHMAN & ASSOCIATES S.C.
PROFESSIONAL SERVICES
625 EAST SUPER STREET, P.O. BOX 373 PORTAGE, WI 53901
PHONE: PORTAGE (608) 742-7788 SAUK (608) 644-8877
E-MAIL: surveying@grothman.com
(RED LOGO REPRESENTS THE ORIGINAL MAP)

SEAL:



G & A FILE NO. 1123-603

DRAFTED BY: T. KASPER

CHECKED BY: IG

PROJ. 720-395

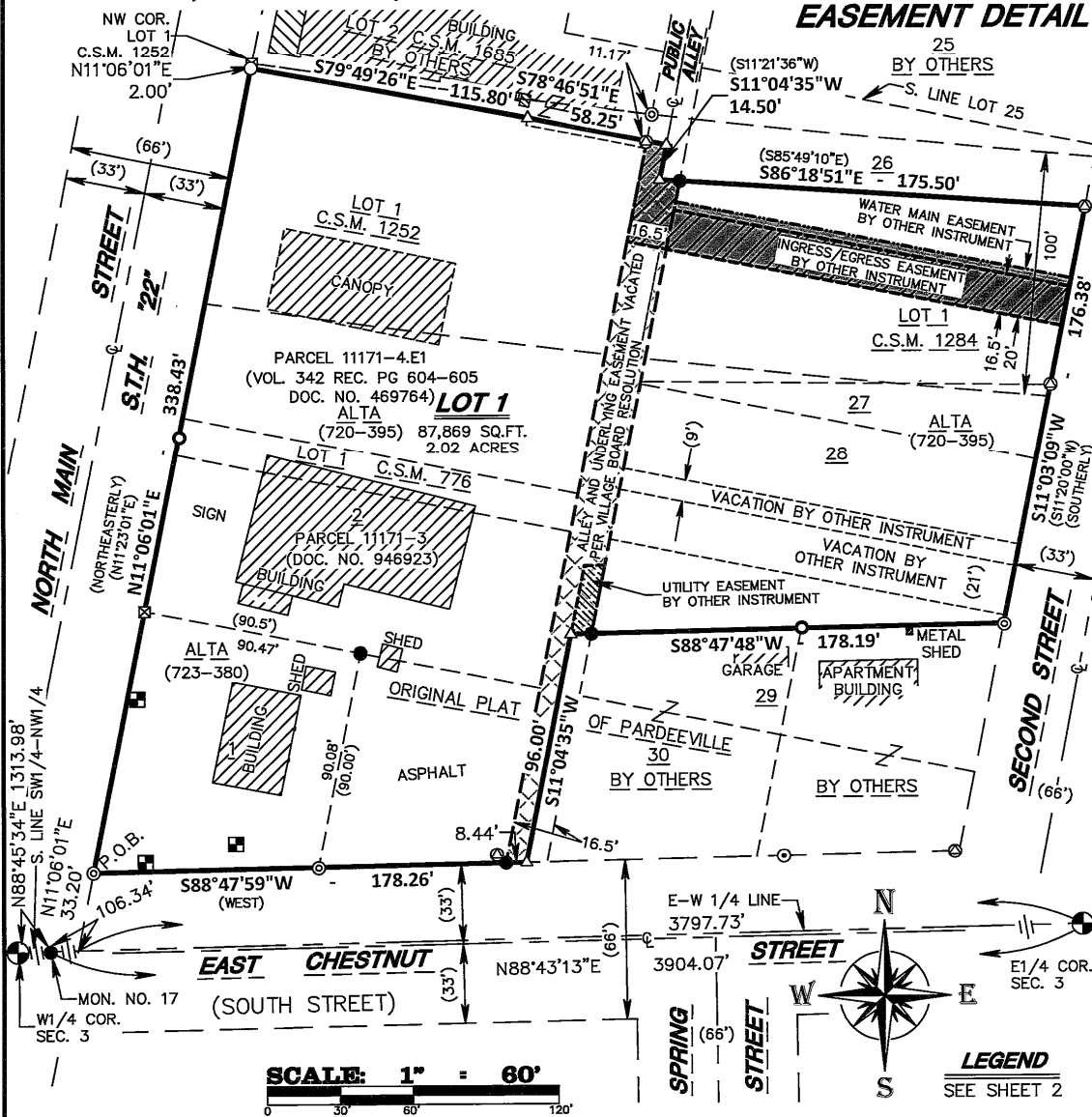
DWG. 1123-603CSM SHEET 2 OF 4

COLUMBIA COUNTY CERTIFIED SURVEY MAP NO.

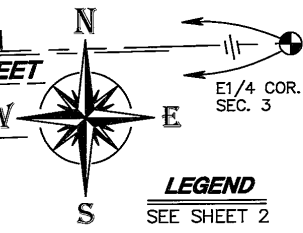
GENERAL LOCATION

Volume _____, Page _____

BEING LOT 1, C.S.M. NO. 776 AS RECORDED IN VOL. 3 OF C.S.M.S, PAGE 251 AS DOCUMENT NO. 431289 AND PART OF LOT 1, C.S.M. NO. 1252 AS RECORDED IN VOL. 6 OF C.S.M.S, PAGE 14 AS DOCUMENT NO. 469446, ALL OF LOT 1, C.S.M. NO. 1284 AS RECORDED IN VOL. 6 OF C.S.M.S, PAGE 46 AS DOCUMENT NO. 471235, ALL OF LOTS 1, 2, 27, 28, PART OF LOT 29 AND PART OF A VACATED PUBLIC ALLEY IN THE ORIGINAL PLAT OF PARDEEVILLE, LOCATED IN SE1/4 OF THE NW1/4, SECTION 3, T. 12 N, R. 10 E, VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN.



SCALE: 1" = 60'



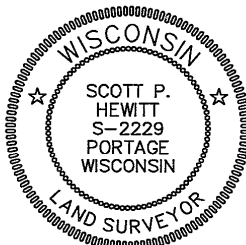
OWNER: ZRH LLC
1626 OAK STREET
LACROSSE, WI 54602-2107

CLIENT: KWIK TRIP, INC
1626 OAK STREET
LACROSSE, WI 54602

As prepared by:

GA GROTHMAN & ASSOCIATES S.C.
 PROFESSIONAL SERVICES
 625 EAST SLIFER STREET, P.O. BOX 373 PORTAGE, WI. 53901
 PHONE: PORTAGE: (608) 742-7788 SAUK: (608) 644-8877
 E-MAIL: surveying@grothman.com
 (RED LOGO REPRESENTS THE ORIGINAL MAP)

SEAL:



G & A FILE NO. 1123-603

DRAFTED BY: T. KASPER
 CHECKED BY: IG
 PROJ. 720-395
 DWG. 1123-603CSM SHEET 3 OF 4

COLUMBIA COUNTY CERTIFIED SURVEY MAP NO. _____
GENERAL LOCATION Volume _____, Page _____

BEING LOT 1, C.S.M. NO. 776 AS RECORDED IN VOL. 3 OF C.S.M.S, PAGE 251 AS DOCUMENT NO. 431289 AND PART OF LOT 1, C.S.M. NO. 1252 AS RECORDED IN VOL. 6 OF C.S.M.S, PAGE 14 AS DOCUMENT NO. 469446, ALL OF LOT 1, C.S.M. NO. 1284 AS RECORDED IN VOL. 6 OF C.S.M.S, PAGE 46 AS DOCUMENT NO. 471235, ALL OF LOTS 1, 2, 27, 28, PART OF LOT 29 AND PART OF A VACATED PUBLIC ALLEY IN THE ORIGINAL PLAT OF PARDEEVILLE, LOCATED IN SE1/4 OF THE NW1/4, SECTION 3, T. 12 N, R. 10 E, VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, **SCOTT P. HEWITT** Professional Land Surveyor, do hereby certify that by the order of **Kwik Trip, Inc.**, I have surveyed, monumented, mapped and combined part of Lot 1, Certified Survey Map, No. 776 as recorded in Volume 3 of Certified Survey Maps, page 251 as Document No. 431289 and part of Lot 1, Certified Survey Map, No. 1252 as recorded in Volume 6 of Certified Survey Maps, page 14 as Document No. 469446, all of Lot 1, Certified Survey Map, No. 1284 as recorded in Volume 6 of Certified Survey Maps, page 46 as Document No. 471235, all of Lots 1 and 2, part of Lot 27, part of Lot 29 and part of a vacated public alley in the Original Plat of Pardeeville located in the Southeast Quarter of the Northwest Quarter, Section 3, Town 12 North, Range 10 East, Village of Pardeeville, Columbia County, Wisconsin, described as follows:

Commencing at the West Quarter corner of Section 3;
 thence North 88°45'34" East along the South line of the Southwest Quarter of the Northwest Quarter, 1,313.98 feet to the Southeast corner thereof;
 thence North 88°43'13" East, along the East - West Quarter line, 106.34 feet;
 thence North 11°06'01" East, 33.20 feet to the Southwest corner of Lot 1, Original Plat of Pardeeville, said point being in the North right-of-way line of East Chestnut Street, the East right-of-way line of North Main Street and the point of beginning;
 thence continuing North 11°06'01" East along the East right-of-way line of North Main Street and the West line of Lots 1 and 2, Original Plat of Pardeeville, the West line of Lot 1, Certified Survey Map, No. 776 and the West line of Lot 1, Certified Survey Map, No. 1252, 338.43 feet;
 thence South 79°49'26" East, 115.80 feet;
 thence South 88°46'51" East, 58.25 feet to the centerline of a public alley;
 thence South 11°04'35" West along the centerline of a public alley, 14.50 feet;
 thence South 86°18'51" East along the North line of Lot 1, Certified Survey Map, No. 1284 and the Westerly extension thereof, 175.50 feet to the Northeast corner of Lot 1, Certified Survey Map, No. 1284 and being in the West right-of-way line of Second Street;
 thence South 11°03'09" West along the East line of Lot 1, Certified Survey Map, No. 1284, the East line of Lots 27, 28 and 29, Original Plat of Pardeeville and the West right-of-way line of Second Street, 176.38 feet;
 thence South 88°47'48" West, 178.19 feet to a point in the centerline of a public alley;
 thence South 11°04'35" West along the centerline of a public alley, 96.00 feet to a point in the North right-of-way line of East Chestnut Street;
 thence South 88°47'59" West along the North right-of-way line of East Chestnut Street and the South line of Lot 1, Original Plat of Pardeeville, 178.26 feet to the point of beginning.
 Containing 87,869 square feet, (2.02 acres), more or less. Being subject to servitudes and easements of use or record, if any.

I DO FURTHER CERTIFY that this is a true and correct representation of the boundaries of the land surveyed and that I have fully complied with the Provisions of Chapter 236.34 of the Wisconsin State Statutes and the Village of Pardeeville Subdivision Ordinances to the best of my knowledge and belief.

Scott P. Hewitt

SCOTT P. HEWITT
 Professional Land Surveyor, No. 2229
 Dated: February 7, 2024
 File No: 1123-603

LEGEND

- 3/4" X 18" IRON ROD SET (WT. = 1.5 LBS. / L.F.)
- 3/4" IRON ROD FND.
- △ MAG NAIL SET
- ⊗ CHISELED "X" FND.
- ⊙ 3/4" IRON PIPE FND.
- ⊙ 1" IRON PIPE FND.
- ⊙ 1 1/4" IRON PIPE FND.
- ⊙ 2" IRON PIPE FND.
- ⊙ 3 1/2" ALUM. MON. FND.
- MONITORING WELL

BASIS OF BEARINGS:

IS THE E-W 1/4 LINE OF SECTION 3 WHICH BEARS N88°43'13"E AS REFERENCED TO GRID NORTH COLUMBIA CO. COORDINATE SYSTEM NAD83(91).

OWNER: ZRH LLC
 1626 OAK STREET
 LACROSSE, WI 54602-2107

CLIENT: KWIK TRIP, INC
 1626 OAK STREET
 LA CROSSE, WI 54602

As prepared by:

GA GROTHMAN & ASSOCIATES S.C.
PROFESSIONAL SERVICES
625 EAST SLIFER STREET, P.O. BOX 373 PORTAGE, WI. 53901
PHONE: PORTAGE: (808) 742-7788 SAUK: (808) 644-8877
E-MAIL: surveying@grothman.com
(RED LOGO REPRESENTS THE ORIGINAL MAP)

G & A FILE NO. 1123-603

DRAFTED BY: T. KASPER

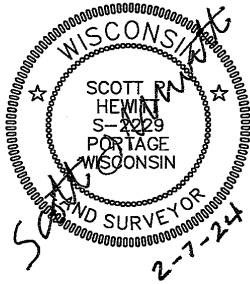
CHECKED BY: IG

PROJ. 720-395

DWG. 1123-603CSM SHEET 4 OF 4



SEAL:



COLUMBIA COUNTY CERTIFIED SURVEY MAP NO. _____

GENERAL LOCATION

Volume _____, Page _____

BEING LOT 1, C.S.M. NO. 776 AS RECORDED IN VOL. 3 OF C.S.M.S, PAGE 251 AS DOCUMENT NO. 431289 AND PART OF LOT 1, C.S.M. NO. 1252 AS RECORDED IN VOL. 6 OF C.S.M.S, PAGE 14 AS DOCUMENT NO. 469446, ALL OF LOT 1, C.S.M. NO. 1284 AS RECORDED IN VOL. 6 OF C.S.M.S, PAGE 46 AS DOCUMENT NO. 471235, ALL OF LOTS 1, 2, 27, 28, PART OF LOT 29 AND PART OF A VACATED PUBLIC ALLEY IN THE ORIGINAL PLAT OF PARDEEVILLE, LOCATED IN SE1/4 OF THE NW1/4, SECTION 3, T. 12 N, R. 10 E, VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN.

VILLAGE BOARD APPROVAL

RESOLVED that the certified survey map, located in the Village of Pardeeville, ZRH LLC, Owner(s), is hereby approved by the Village Board.

Village President

Dated this the _____ day of _____, 2024.

I HEREBY CERTIFY that the foregoing is a copy of a motion adopted by the Village of Pardeeville.

Village Clerk

OWNER: ZRH LLC
1626 OAK STREET
LACROSSE, WI 54602-2107

CLIENT: KWIK TRIP, INC
1626 OAK STREET
LA CROSSE, WI 54602

Document Number

DEVELOPMENT AGREEMENT

Name and Return Address:

Lara Czajkowski Higgins
P.O. Box 2107
La Crosse, WI 54602-2107

11171-4.C1; 11171-3;
11171-4.E1; 11171-39; 11171-40
Parcel Identification Number (PIN)

DEVELOPMENT AGREEMENT

This Development Agreement (the “Agreement”) is made as of this _____ day of _____, 2024 by and between the Village of Pardeeville, a Wisconsin municipal corporation (the “Village”), and ZRH, LLC, a Delaware limited liability company (“Developer”).

WHEREAS, Developer proposes to acquire fee simple title to certain real property located at 104 North Main Street, Pardeeville, Columbia County, Wisconsin (the “Adjacent Property”), which is adjacent to certain real property owned by Developer located at 108 North Main Street, Pardeeville, Columbia County, Wisconsin (collectively the “Developer Property”), legally described on Exhibit A attached hereto and incorporated herein; and

WHEREAS, in connection with the planned development of the Developer Property for commercial use, the Village and Developer concur that it would be in the best interest of the Village and the public if certain improvements were made on or near the Developer Property; and

WHEREAS, Developer is willing to cause certain improvements (the “Developer Improvements”) to be constructed on the Developer Property pursuant to the terms of this Agreement; and

WHEREAS, the Village is willing to vacate the existing public alley depicted on Exhibit B attached hereto and incorporated herein (the “Existing Alley”); and

NOW THEREFORE, the Village and Developer, in consideration of the terms, covenants and conditions herein set forth, hereby agree as follows:

1. Developer Improvements. Developer hereby agrees, at its own expense, to design, bid and construct, or engage a qualified contractor to construct, an alley over a portion of the Developer Property legally described on Exhibit C attached hereto and incorporated herein (the “Alley Property”) pursuant to the site plan on Exhibit D attached hereto and incorporated herein.

The Developer Improvements shall be completed by Developer no later than December 31, 2025 (the “Completion Date”), with the option to extend the Completion Date for delays outside the reasonable control of Developer.

2. Grant of Easement. Developer shall grant an easement (“Public Ingress/Egress Easement Agreement”) to the Village for public pedestrian and vehicular ingress and egress over the Alley Property through separate document in form and substance substantially similar to Exhibit E attached hereto and incorporated herein.

3. Existing Alley Vacation. The Village shall recommend approval of the vacation of the Existing Alley and, upon approval, shall record a resolution vacating the Existing Alley.

3. Village Approvals. The Village shall promptly review all requests for building permits, certificates of occupancy and all other approvals lawfully required for Developer or its successors in interest to construct and operate improvements upon the Developer Property and to obtain access to all abutting and appurtenant rights-of-way, in accordance with ordinances,

building codes, rules and regulations promulgated by the Village (the "Village Approvals"). The Village agrees that it shall not unreasonably deny or delay the issuance of any Village Approvals required for the lawful use and occupancy of the Developer Property.

5. No Agency or Partnership. This Agreement is not intended and shall not be construed to create the relationship of agent, servant, employee, partnership, joint venture or association as between the Village and Developer nor between the Village and any officer, employee, contractor or representative of Developer. No joint employment is intended or created by this Agreement for any purpose. Developer agrees to so inform its employees, agents, contractors and subcontractors who are involved in the implementation of or construction under this Agreement.

6. Indemnification. Developer agrees to indemnify, defend (at the Village's option) and hold harmless the Village, its respective employees, officials, agents, representatives and volunteers from and against any and all liabilities, damages, injuries (including death), property damage (including loss of use), claims, liens, judgments, costs, expenses, suits, actions, or proceedings and reasonable attorney's fees, and actual damages of any kind or nature, arising out of or in connection with any aspect of the acts, omissions, negligence or willful misconduct of Developer, its employees, agents, officers, contractors or subcontractors, or Developer's performance or failure to perform under the terms and conditions of this Agreement. Such indemnification, hold harmless and defense obligation shall exclude only such liability actions as arise directly out of acts, omissions, or the sole negligence or willful misconduct of the Village.

7. Contingency. This Agreement is contingent on Developer purchasing the Adjacent Property. In the event Developer does not become fee owner of the Adjacent Property, this Agreement shall be null and void.

8. Additional Provisions.

- A. Governing Law. This Agreement shall be construed under the laws of the State of Wisconsin.
- B. Entire Agreement. THE TERMS OF THIS AGREEMENT SHOULD BE READ CAREFULLY BECAUSE ONLY THOSE TERMS IN WRITING ARE ENFORCEABLE. NO OTHER TERMS OR ORAL PROMISES NOT CONTAINED IN THIS WRITTEN AGREEMENT MAY BE LEGALLY ENFORCED AND THE PARTIES HERETO MAY CHANGE THE TERMS OF THIS AGREEMENT ONLY BY ANOTHER WRITTEN AGREEMENT.
- C. Counterparts. This Agreement may be executed in any number of identical counterparts, each of which for all purposes shall be deemed an original, and all of which shall constitute collectively one agreement.
- D. Binding Effect. This Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective successors and assigns.
- E. Further Assurances. From time to time after the date hereof, without further consideration, the parties will (i) execute and deliver, or cause to be

executed and delivered, such instruments to each other as may reasonably be requested in order to effectuate the intent of this Agreement and (ii) use reasonable good faith efforts to obtain any third-party consents reasonably necessary to effectuate the intent of this Agreement.

- F. Severability. The provisions of this Agreement shall be deemed severable. If any part of this Agreement shall be held invalid, illegal or unenforceable, the remainder shall remain in full force and effect, and such invalid, illegal or unenforceable provision shall be reformed by such court so as to give maximum legal effect to the intention of the parties as expressed therein.
- G. Authorization. Developer represents, covenants and warrants that the making and execution of this Agreement and all other documents and instruments required or related hereunder have been fully authorized by the necessary corporate action of Developer and are valid, binding and enforceable obligations of Developer in accordance with their respective terms. The Village represents, covenants and warrants that the making and execution of this Agreement and all other documents and instruments required or related hereunder have been fully authorized by the necessary organizational action of the Village and are valid, binding and enforceable obligations of the Village in accordance with their respective terms.
- H. Time. Time is of the essence of this Agreement.
- I. Notices. Notices given under this Agreement shall be in writing and shall be sent to each party at the address set forth below and shall be deemed given and effective when delivered in person to the other party or three (3) business days after being deposited in the U.S. Mail, postage prepaid, sent by registered or certified mail or sent by nationally recognized overnight carrier (e.g., Federal Express) to the other party's address for notices set forth below:

ZRH, LLC
Attn: Legal Department
P.O. Box 2107
La Crosse, WI 54602-2107

Village of Pardeeville
Attn: _____
114 Lake Street
Pardeeville, WI 53954

[Signature Pages Follow]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed as of the date and year first above written.

VILLAGE:

VILLAGE OF PARDEEVILLE, WISCONSIN

By: _____

Name: _____

Title: _____

ATTEST:

By: _____

Name: _____

Title: _____

STATE OF WISCONSIN)

) ss.

COUNTY OF COLUMBIA)

On this _____ day of _____, 2024, before me, the undersigned, a Notary Public in and for the County and State aforesaid, came _____ and _____, to me personally known, who being by me duly sworn did say that they are the _____ and _____, respectively, the Village of Pardeeville, a Wisconsin municipal corporation, has signed the foregoing instrument, being informed of the contents of the instrument, executed the same voluntarily.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Notarial Seal in the date herein last above written.

Notary Public in and for said County and State
My commission expires: _____

DEVELOPER:

ZRH, LLC

By: _____
David P. Wagner, CFO & Treasurer of
Kwik Trip, Inc., its Manager

STATE OF WISCONSIN)
) ss.
COUNTY OF LA CROSSE)

On this _____ day of _____, 2024, before me, the undersigned, a Notary Public in and for the County and State aforesaid, came David P. Wagner, to me personally known, who being by me duly sworn did say that they are the CFO and Treasurer of Kwik Trip, Inc., Manager of ZRH, LLC, a Delaware limited liability company, has signed the foregoing instrument, being informed of the contents of the instrument, executed the same voluntarily.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Notarial Seal in the date herein last above written.

Notary Public in and for said County and State
My commission expires: _____

EXHIBIT A

DEVELOPER PROPERTY

Lot 1 of Columbia County Certified Survey Map No. _____, as Recorded in Volume ____ of Certified Survey Maps, page ____, as Document No. _____, being Part of Lot 1 of Certified Survey Map No. 776, as Recorded in Volume 3 of Certified Survey Maps, page 251, as Document No. 431289 and Part of Lot 1 of Certified Survey Map No. 1252 as recorded in Volume 6 of Certified Survey Maps, page 14, as Document No. 469446, all of Lot 1 of Certified Survey Map No. 1284 as recorded in Volume 6 of Certified Survey Maps, page 46, as Document No. 471235, all of Lots 1 and 2, part of Lot 27, all of Lot 28, part of Lot 29 and part of a vacated public alley in the Original Plat of the Village of Pardeeville located in Government Lot 14, Section 3, Township 12 North, Range 10 East, Village of Pardeeville, Columbia County, Wisconsin.

(Tax Parcel No. to be determined)

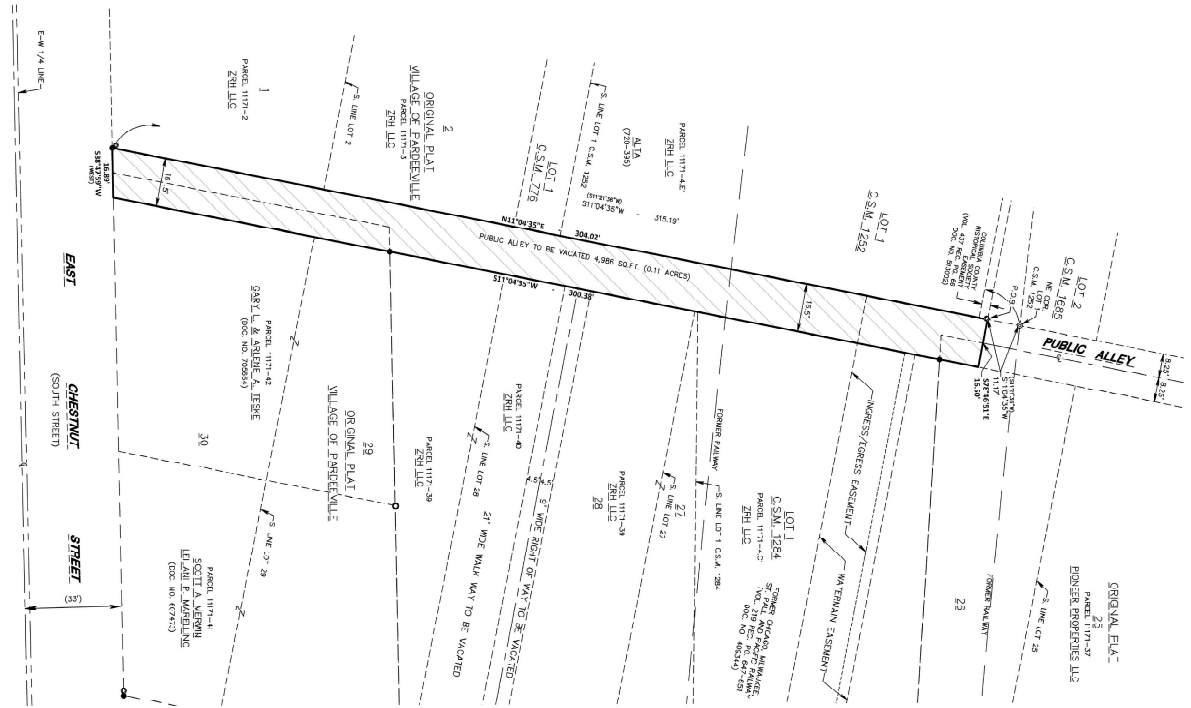
EXHIBIT B

EXISTING ALLEY

[See Attached]

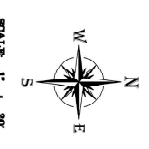
EXHIBIT B

EXHIBIT MAP



ALSO TO BE VACATED:

Conveying of the Northeast corner of Lot 1, Official Survey Map No. 1282 and through the West right-of-way thereof south of the East line of Lot 1, Certified Survey Map No. 1182 and the West right-of-way line of the public alley, 1177 feet to the North of and through the East right-of-way line of the public alley, 1177 feet to the North of and through the East right-of-way line of the public alley and being in the North 21' of the East line of the original plat of the Village of Farbreville, Wisconsin, containing 3,539.82 sq. ft. of land, as shown on the attached plat, to the City of Farbreville, Wisconsin, for the purpose of widening and paving the same for use as a public alley.



CLIENT:
Kwik Trip, Inc.
1026 MAIN STREET
LA CROSSE, WI 54602

SURVEYOR:
GROTHMAN & ASSOCIATES, S.C.
208 E. CENTER STREET
PO BOX 321
628 E. SUPER STREET
LA CROSSE, WI 54602
PHONE: (608) 742-7788
PHONE FAX: (608) 644-9877
e-mail: sarah@grothman.com

DATE: 11/20/2024

SCALE: 1" = 20'

PROJECT: 108 & 108 MAIN STREET & CHESTNUT STREET FARBREVILLE, WI



DATE	11/20/2024	FILE NO.	720-255
BY	SARAH	DRAWING NO.	129-335
CHECKED BY	SHEM	REVISION	
DRAWN BY: SARAH		SHEET 1 OF 1	

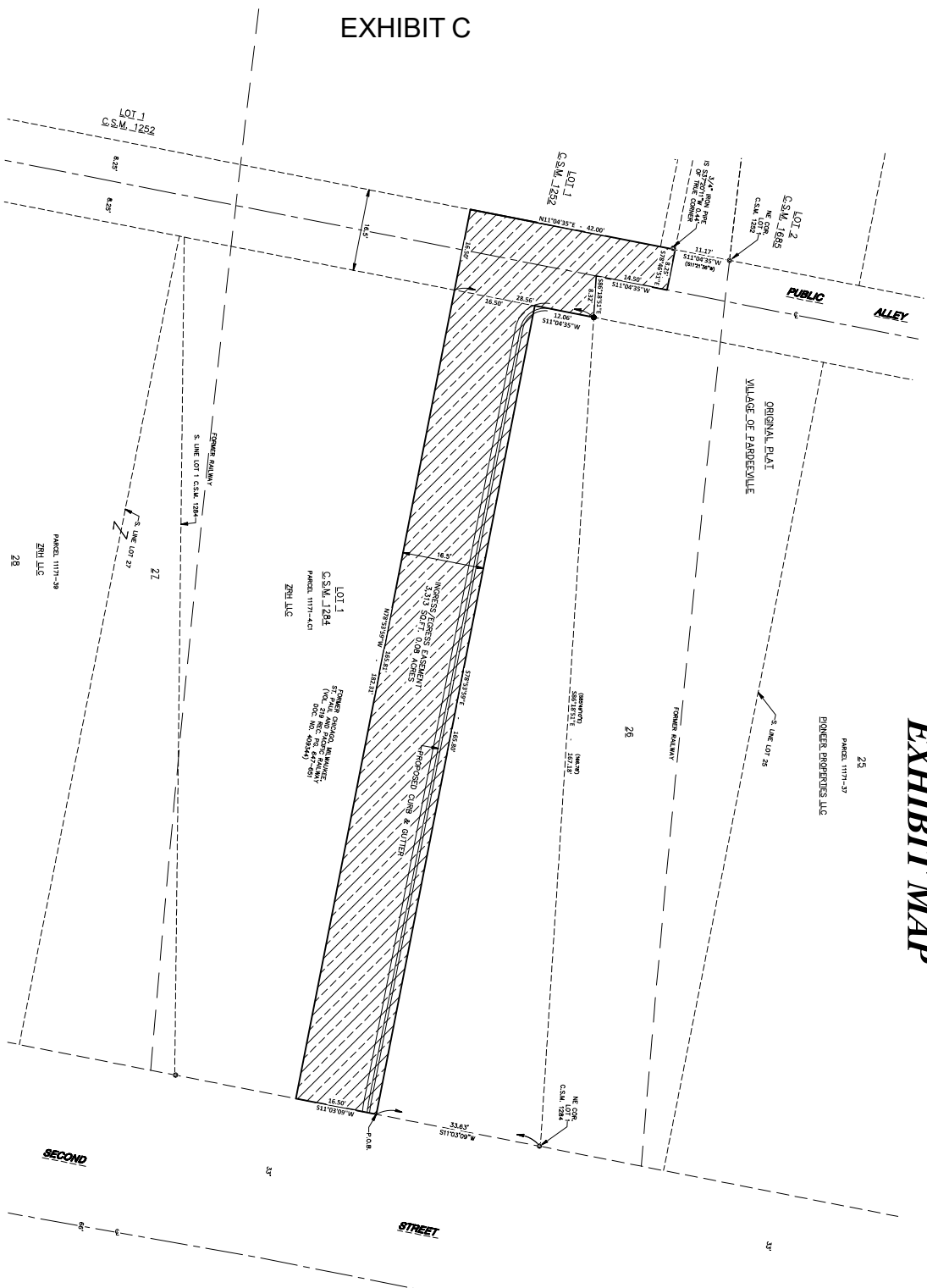
EXHIBIT C

ALLEY PROPERTY

[See Attached]

EXHIBIT MAP

EXHIBIT C



LEGAL DESCRIPTION

29th LLC Property, Columbia County, WI

Business Description:

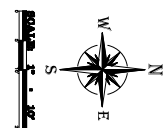
Being part of Lot 1, Certified Survey Map, No. 1284 as recorded in Volume 6 of Certified Survey Maps (page 46 of this map) and being part of the Village of Pardeville, Columbia County, Wisconsin, described as follows:

Commencing at the Northwest corner of Lot 1, Certified Survey Map, No. 1284 and being in the West right-of-way line of Second Street, 30.00 feet to the point of beginning;

thence South 11°43'25" West along the East line of Lot 1, Certified Survey Map, No. 1284 and the West right-of-way line of Second Street, 132.11 feet to a point in the West right-of-way line of a public alley;

thence South 11°43'25" West along the centerline of said alley, 14.50 feet to the Northeast corner of Lot 1, Certified Survey Map, No. 1284, 822 feet to the Northwest corner of Lot 1, Certified Survey Map, No. 1284 and being in the East right-of-way line of a public alley, 12.00 feet to the point of beginning;

Containing 3.13 square feet (0.08 acres), more or less.



CLIENT
 WIKI TRIP, INC.
 1826 OAK STREET
 PORTLAND, WI 53001

OWNER
 1826 OAK STREET
 LAPOSSSE, WI 53602-2107

SURVEYOR
 SCOTT P. HEWITT
 P.O. BOX 373
 PORTLAND, WI 53001
 PHONE: (608) 742-7788
 FAX: (608) 742-0434 (959) 544-9877
 e-mail: survey@grothman.com

LEGEND

- 3/4" IRON ROD FND.
- 1/2" IRON PIPE FND.
- 1" IRON PIPE FND.

DATE	REVISION	BY

GROTHMAN & ASSOCIATES S.C.

106 & 108 MAIN STREET &
 106 EAST CHESTNUT STREET
 PARDEWILLE WI.

SCALE: 1" = 10'

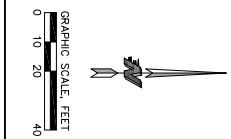
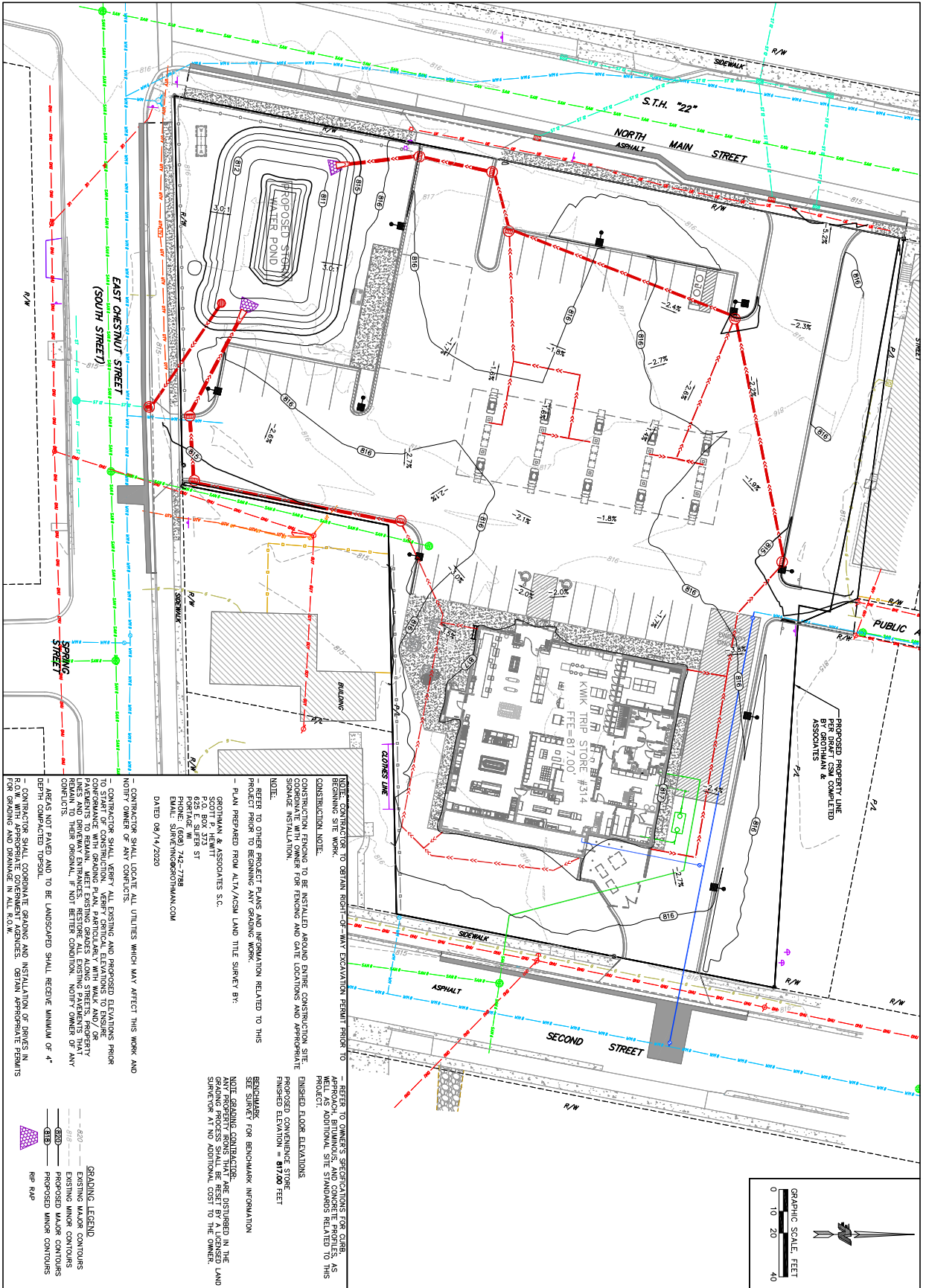
DATE: 2/1/2014	FILE NO: 220-295
DRAWN BY: KASPER	DRAWING NO: 123-603
CHECKED BY: S. HEWITT	SHEET 1 OF 1

EXHIBIT D

SITE PLAN

[See Attached]

EXHIBIT D



NOTE: CONTRACTORS TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMITS PRIOR TO BEGINNING SITE WORK.

CONSTRUCTION NOTE:
CONSTRUCTION PERMITS TO BE INSTALLED AROUND EXISTING CONSTRUCTION SITE SIGNAGE INSTALLATION.

NOTE:
- REFER TO OTHER PROJECT PLANS AND APPURTENANCE RELATED TO THIS PROJECT PRIOR TO BEGINNING ANY GRADING WORK.

CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CONFLICTS.

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO BEGINNING ANY GRADING WORK. VERIFY ALL ELEVATIONS WITH THE OWNER AND/OR ENGINEER. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND ADJACENT PROPERTIES. VERIFY ALL ELEVATIONS WITH THE OWNER OF ANY CONFLICTS.

- AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

- CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRAINS IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

DATE: 08/14/2020

REFER TO OWNER'S SPECIFICATIONS FOR CURB, APPROACH, BUTTJOINTS, AND CONCRETE FINISHES, AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

FINISHED FLOOR ELEVATIONS
PROPOSED CONVENIENCE STORE
FINISHED ELEVATION = 817.00 FEET

BENCHMARK FOR BENCHMARK INFORMATION
NOT BEING CONSTRUCTION.
GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO BEGINNING ANY GRADING WORK. VERIFY ALL ELEVATIONS WITH THE OWNER AND/OR ENGINEER. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND ADJACENT PROPERTIES. VERIFY ALL ELEVATIONS WITH THE OWNER OF ANY CONFLICTS.

AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRAINS IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

GRADING LEGEND

- 810' - EXISTING MAJOR CONTOURS
- 815' - EXISTING MAJOR CONTOURS
- 820' - PROPOSED MAJOR CONTOURS
- 825' - PROPOSED MAJOR CONTOURS
- 830' - PROPOSED MAJOR CONTOURS
- 835' - PROPOSED MAJOR CONTOURS
- 840' - PROPOSED MAJOR CONTOURS
- 845' - PROPOSED MAJOR CONTOURS
- 850' - PROPOSED MAJOR CONTOURS
- 855' - PROPOSED MAJOR CONTOURS
- 860' - PROPOSED MAJOR CONTOURS
- 865' - PROPOSED MAJOR CONTOURS
- 870' - PROPOSED MAJOR CONTOURS
- 875' - PROPOSED MAJOR CONTOURS
- 880' - PROPOSED MAJOR CONTOURS
- 885' - PROPOSED MAJOR CONTOURS
- 890' - PROPOSED MAJOR CONTOURS
- 895' - PROPOSED MAJOR CONTOURS
- 900' - PROPOSED MAJOR CONTOURS
- 905' - PROPOSED MAJOR CONTOURS
- 910' - PROPOSED MAJOR CONTOURS
- 915' - PROPOSED MAJOR CONTOURS
- 920' - PROPOSED MAJOR CONTOURS
- 925' - PROPOSED MAJOR CONTOURS
- 930' - PROPOSED MAJOR CONTOURS
- 935' - PROPOSED MAJOR CONTOURS
- 940' - PROPOSED MAJOR CONTOURS
- 945' - PROPOSED MAJOR CONTOURS
- 950' - PROPOSED MAJOR CONTOURS
- 955' - PROPOSED MAJOR CONTOURS
- 960' - PROPOSED MAJOR CONTOURS
- 965' - PROPOSED MAJOR CONTOURS
- 970' - PROPOSED MAJOR CONTOURS
- 975' - PROPOSED MAJOR CONTOURS
- 980' - PROPOSED MAJOR CONTOURS
- 985' - PROPOSED MAJOR CONTOURS
- 990' - PROPOSED MAJOR CONTOURS
- 995' - PROPOSED MAJOR CONTOURS
- 1000' - PROPOSED MAJOR CONTOURS

DATE	DESCRIPTION
08/14/2020	GRADING PLAN
08/14/2020	CONVENIENCE STORE #314
08/14/2020	108 N MAIN STREET PARDEEVILLE, WI

DESIGNER	DATE	SCALE	SHEET
VERBICHER	08/14/2020	AS SHOWN	C200

Kwik Trip Inc.
 P.O. BOX 2107
 1628 OAK STREET
 LA CROSSE, WI 54602-2107
 PH: (608) 781-8988
 FAX: (608) 781-8980

Verbicher
 ENGINEERS & ARCHITECTS
 1000 N. MAIN STREET
 PARDEEVILLE, WI 53581
 PH: (608) 781-8988
 FAX: (608) 781-8980

Kwik Trip STORES

Kwik Trip STORES

EXHIBIT E

PUBLIC INGRESS/EGRESS EASEMENT AGREEMENT

[See Attached]

EXHIBIT E

Document Number

**PUBLIC INGRESS/EGRESS
EASEMENT AGREEMENT**

Name and Return Address:

Lara Czajkowski Higgins
P.O. Box 2107
La Crosse, WI 54602-2107

11171-4.C1; 11171-4.E1
Parcel Identification Number (PIN)

PUBLIC INGRESS/EGRESS EASEMENT AGREEMENT

THIS PUBLIC INGRESS/EGRESS EASEMENT AGREEMENT (“Agreement”), dated _____, 2024, is entered into by and between ZRH, LLC, a Delaware limited liability company (“Grantor”) and the Village of Pardeeville, a Wisconsin municipal corporation (“Grantee”) for the purpose of ingress and egress. The following statements are a material part of this Agreement:

- A. Grantor owns the real estate described on the attached Exhibit A (“Grantor’s Property”);
- B. Grantor is willing to grant Grantee easement rights of ingress and egress over a portion of Grantor’s Property legally described and shown on the attached Exhibit B (“Easement Property”), pursuant to the terms and conditions contained in this Agreement.

NOW, THEREFORE, for valuable consideration, the receipt and sufficiency of which are acknowledged, the following grants, agreements and covenants are made:

INGRESS AND EGRESS EASEMENT

Grantor grants and conveys to Grantee, for the benefit of Grantee and the general public, a permanent, non-exclusive easement for vehicular and pedestrian ingress and egress over, upon and across the Easement Property (“Easement”). Such use by Grantee of the Easement Property shall not unreasonably interfere with Grantor’s use and enjoyment of Grantor’s Property, including the Easement Property.

CONSTRUCTION/MAINTENANCE OF THE EASEMENT PROPERTY

Grantor shall be responsible for the construction, maintenance, snow removal, repair and/or replacement of the Easement Property at its sole cost and expense. In the event maintenance and/or repair is necessary due to the negligence of Grantee or its agents, employees, or invitees, Grantee shall be responsible for said maintenance and/or repair at their sole cost and expense.

INDEMNITY

Each party (“Indemnifying Party”) shall indemnify, defend and hold harmless the other party, its officers, directors, agents and employees from all liability, suits, actions, claims, costs, damages, and expenses of every kind and description, including court costs and legal fees, for claims of any character, including liability and expenses in connection with the loss of life, personal injury, or damage to property, brought because of any injuries or damages received or sustained by any person, persons, or property on account of or arising out of the use of the Easement Property by the Indemnifying Party or its agents, employees, invitees, contractors, and subcontractors.

WARRANTIES OF TITLE

Grantor warrants that it has good and indefeasible fee simple title to Grantor’s Property, that Grantor has the full right and lawful authority to grant the Easement, and that Grantee, the public, and any successors shall and may peaceably have, hold, and enjoy the Easement.

RUNNING OF BENEFITS

All provisions of this instrument, including the benefits and burdens, run with the land and are binding upon and inure to the benefit of the heirs, assigns, licensees, invitees, successors, tenants, employees and personal representatives of the owners of their respective properties.

AMENDMENTS OR TERMINATION

This Agreement may be amended or terminated by a document executed by all owners of each parcel affected hereby, or their successors or assigns, as the case may be, and the consent of no other party shall be required. Any such document shall be duly recorded in the office of the Register of Deeds of Columbia County, Wisconsin.

NOTICES

Notices given under this Easement shall be in writing and shall be sent to each party at the address set forth below and shall be deemed given and effective when delivered in person to the other party or three (3) business days after being deposited in the U.S. Mail, postage prepaid, sent by registered or certified mail or sent by nationally recognized overnight carrier (e.g., Federal Express) to the other party's address for notices set forth below:

ZRH, LLC
Attn: Legal Department
P.O. Box 2107
La Crosse, WI 54602-2107

Village of Pardeeville
Attn: _____
114 Lake Street
Pardeeville, WI 53954

[Signature Pages Follow]

GRANTOR:

ZRH, LLC

By: _____

Name: _____

Its: _____

STATE OF WISCONSIN)
) ss.
COUNTY OF LA CROSSE)

I, the undersigned, a Notary Public in and for said County, in said State, hereby certifies that _____, the _____ of Kwik Trip, Inc., Manager of ZRH, LLC, a Delaware limited liability company, has signed the foregoing instrument, and who is known to me, acknowledged before me on this date that, being informed of the contents of the instrument, he executed the same voluntarily for and as the act of said company.

Dated this ____ day of _____, 2024.

Notary Public
State of Wisconsin, County of La Crosse
My commission: _____

GRANTEE:

VILLAGE OF PARDEEVILLE, WISCONSIN

By: _____

Name: _____

Its: _____

By: _____

Name: _____

Its: _____

STATE OF WISCONSIN)
) ss.
COUNTY OF COLUMBIA)

I, the undersigned, a Notary Public in and for said County, in said State, hereby certifies that _____ and _____, the _____ and _____ respectively, of the Village of Pardeeville, a Wisconsin municipal corporation, have signed the foregoing instrument, and who are known to me, acknowledged before me on this date that, being informed of the contents of the instrument, they executed the same voluntarily for and as the act of said municipal corporation.

Dated this _____ day of _____, 2024.

Notary Public
State of Wisconsin, County of Columbia
My commission: _____

EXHIBIT A
(to the Public Ingress/Egress Easement Agreement)

GRANTOR'S PROPERTY

Lot 1 of Columbia County Certified Survey Map No. _____, as Recorded in Volume ____ of Certified Survey Maps, page ____, as Document No. _____, being Part of Lot 1 of Certified Survey Map No. 776, as Recorded in Volume 3 of Certified Survey Maps, page 251, as Document No. 431289 and Part of Lot 1 of Certified Survey Map No. 1252 as recorded in Volume 6 of Certified Survey Maps, page 14, as Document No. 469446, all of Lot 1 of Certified Survey Map No. 1284 as recorded in Volume 6 of Certified Survey Maps, page 46, as Document No. 471235, all of Lots 1 and 2, part of Lot 27, all of Lot 28, part of Lot 29 and part of a vacated public alley in the Original Plat of the Village of Pardeeville located in Government Lot 14, Section 3, Township 12 North, Range 10 East, Village of Pardeeville, Columbia County, Wisconsin.

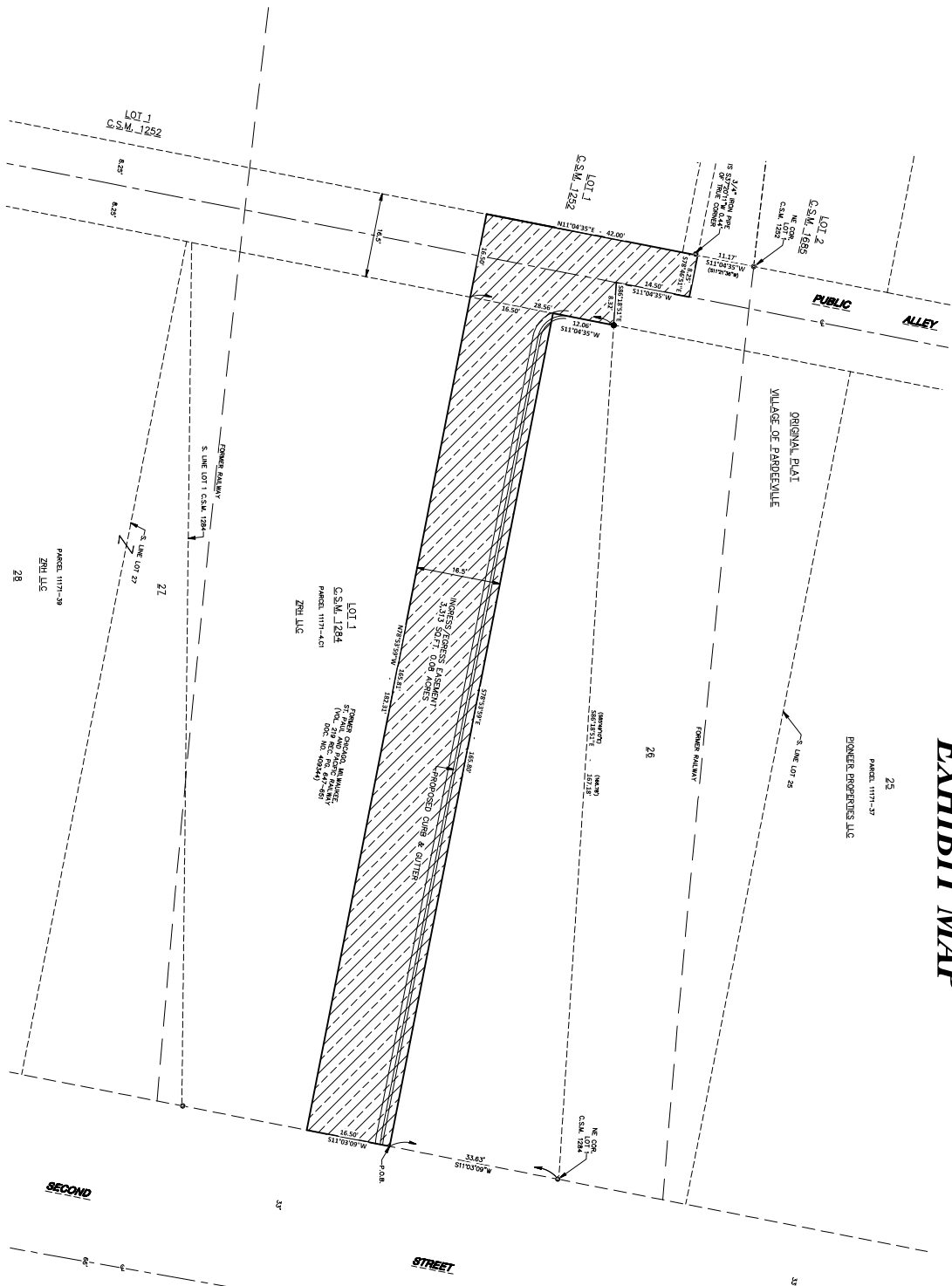
(Tax Parcel No. to be determined)

EXHIBIT B
(to the Public Ingress/Egress Easement Agreement)

EASEMENT PROPERTY

[See Attached]

EXHIBIT MAP



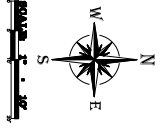
25
 PARCEL 1171-37
 DOKER PROPERTIES LLC

LOT 1
 C.S.M. 1284
 PARCEL 1171-41
 ZENI LLC

22
 PARCEL 1171-38
 ZENI LLC

28
 PARCEL 1171-39
 ZENI LLC

ZENI LLC Property, Columbia County, WI
Business Estimate:
 Commencing at the Northwest corner of Lot 1, Certified Survey Map, No. 1284 and being in the West right-of-way line of Second Street, 31.00 feet to the point of beginning.
 Thence South 11°42'55" West along the centerline of said alley, 14.50 feet to the point of beginning.
 Thence South 78°32'58" West, 182.11 feet to a point in the West right-of-way line of a public alley.
 Thence South 78°46'01" East, 4.29 feet to a point in the centerline of said alley.
 Thence South 11°42'55" West along the centerline of said alley, 14.50 feet to the point of beginning.
 Thence South 82°22'00" West along the West line of Lot 1, Certified Survey Map, No. 1284 and being in the East right-of-way line of a public alley, 12.00 feet to the point of beginning.
 Containing 31.93 square feet (0.08 acres), more or less.



- LEGEND**
- 3/4" IRON ROD FND.
 - 5/8" IRON PIPE FND.
 - 1" IRON PIPE FND.

CLIENT
 ZENI LLC
 1826 OAK STREET
 PORTLAND, WI 53001

OWNER
 1826 OAK STREET
 LAPORESS, WI 54602-2107

SURVEYOR
 SCOTT P. HEWITT
 P.O. BOX 373
 PORTLAND, WI 53001
 PHONE: (608) 742-7788
 FAX: (608) 742-0434 (959) 544-8977
 e-mail: survey@grothman.com

106 & 108 MAIN STREET &
 106 EAST CHESTNUT STREET
 PARDEVILLE WI.

Kwik Trip, Inc.

GA GROTHMAN & ASSOCIATES S.C.
 106 & 108 MAIN STREET &
 106 EAST CHESTNUT STREET
 PARDEVILLE WI 53001
 PHONE: (608) 742-7788
 FAX: (608) 742-0434
 www.grothman.com

SCALE: 1" = 10'	FILE NOS: 720-295
DRAWN BY: J. KASPER	DRAWING NOS: 1723-208
CHECKED BY: S. HEWITT	DATE: 11/21/2014
	SHEET 1 OF 1

Document Number

**PUBLIC INGRESS/EGRESS
EASEMENT AGREEMENT**

Name and Return Address:

Lara Czajkowski Higgins
P.O. Box 2107
La Crosse, WI 54602-2107

11171-4.C1; 11171-4.E1
Parcel Identification Number (PIN)

PUBLIC INGRESS/EGRESS EASEMENT AGREEMENT

THIS PUBLIC INGRESS/EGRESS EASEMENT AGREEMENT (“Agreement”), dated _____, 2024, is entered into by and between ZRH, LLC, a Delaware limited liability company (“Grantor”) and the Village of Pardeeville, a Wisconsin municipal corporation (“Grantee”) for the purpose of ingress and egress. The following statements are a material part of this Agreement:

- A. Grantor owns the real estate described on the attached Exhibit A (“Grantor’s Property”);
- B. Grantor is willing to grant Grantee easement rights of ingress and egress over a portion of Grantor’s Property legally described and shown on the attached Exhibit B (“Easement Property”), pursuant to the terms and conditions contained in this Agreement.

NOW, THEREFORE, for valuable consideration, the receipt and sufficiency of which are acknowledged, the following grants, agreements and covenants are made:

INGRESS AND EGRESS EASEMENT

Grantor grants and conveys to Grantee, for the benefit of Grantee and the general public, a permanent, non-exclusive easement for vehicular and pedestrian ingress and egress over, upon and across the Easement Property (“Easement”). Such use by Grantee of the Easement Property shall not unreasonably interfere with Grantor’s use and enjoyment of Grantor’s Property, including the Easement Property.

CONSTRUCTION/MAINTENANCE OF THE EASEMENT PROPERTY

Grantor shall be responsible for the construction, maintenance, snow removal, repair and/or replacement of the Easement Property at its sole cost and expense. In the event maintenance and/or repair is necessary due to the negligence of Grantee or its agents, employees, or invitees, Grantee shall be responsible for said maintenance and/or repair at their sole cost and expense.

INDEMNITY

Each party (“Indemnifying Party”) shall indemnify, defend and hold harmless the other party, its officers, directors, agents and employees from all liability, suits, actions, claims, costs, damages, and expenses of every kind and description, including court costs and legal fees, for claims of any character, including liability and expenses in connection with the loss of life, personal injury, or damage to property, brought because of any injuries or damages received or sustained by any person, persons, or property on account of or arising out of the use of the Easement Property by the Indemnifying Party or its agents, employees, invitees, contractors, and subcontractors. By entering into this Agreement, Grantee is not waiving any of the right afforded Grantee pursuant to Wis. Stats. § 893.80,

WARRANTIES OF TITLE

Grantor warrants that it has good and indefeasible fee simple title to Grantor’s Property, that Grantor has the full right and lawful authority to grant the Easement, and that Grantee, the public, and any successors shall and may peaceably have, hold, and enjoy the Easement.

RUNNING OF BENEFITS

All provisions of this instrument, including the benefits and burdens, run with the land and are binding upon and inure to the benefit of the heirs, assigns, licensees, invitees, successors, tenants, employees and personal representatives of the owners of their respective properties.

AMENDMENTS OR TERMINATION

This Agreement may be amended or terminated by a document executed by all owners of each parcel affected hereby, or their successors or assigns, as the case may be, and the consent of no other party shall be required. Any such document shall be duly recorded in the office of the Register of Deeds of Columbia County, Wisconsin.

NOTICES

Notices given under this Easement shall be in writing and shall be sent to each party at the address set forth below and shall be deemed given and effective when delivered in person to the other party or three (3) business days after being deposited in the U.S. Mail, postage prepaid, sent by registered or certified mail or sent by nationally recognized overnight carrier (e.g., Federal Express) to the other party's address for notices set forth below:

ZRH, LLC
Attn: Legal Department
P.O. Box 2107
La Crosse, WI 54602-2107

Village of Pardeeville
Attn: _____
114 Lake Street
Pardeeville, WI 53954

[Signature Pages Follow]

GRANTOR:

ZRH, LLC

By: _____

Name: _____

Its: _____

STATE OF WISCONSIN)
) ss.
COUNTY OF LA CROSSE)

I, the undersigned, a Notary Public in and for said County, in said State, hereby certifies that _____, the _____ of Kwik Trip, Inc., Manager of ZRH, LLC, a Delaware limited liability company, has signed the foregoing instrument, and who is known to me, acknowledged before me on this date that, being informed of the contents of the instrument, he executed the same voluntarily for and as the act of said company.

Dated this ____ day of _____, 2024.

Notary Public
State of Wisconsin, County of La Crosse
My commission: _____

GRANTEE:

VILLAGE OF PARDEEVILLE, WISCONSIN

By: _____

Name: _____

Its: _____

By: _____

Name: _____

Its: _____

STATE OF WISCONSIN)
) ss.
COUNTY OF COLUMBIA)

I, the undersigned, a Notary Public in and for said County, in said State, hereby certifies that _____ and _____, the _____ and _____ respectively, of the Village of Pardeeville, a Wisconsin municipal corporation, have signed the foregoing instrument, and who are known to me, acknowledged before me on this date that, being informed of the contents of the instrument, they executed the same voluntarily for and as the act of said municipal corporation.

Dated this _____ day of _____, 2024.

Notary Public
State of Wisconsin, County of Columbia
My commission: _____

EXHIBIT A

GRANTOR'S PROPERTY

Lot 1 of Columbia County Certified Survey Map No. _____, as Recorded in Volume ____ of Certified Survey Maps, page ____, as Document No. _____, being Part of Lot 1 of Certified Survey Map No. 776, as Recorded in Volume 3 of Certified Survey Maps, page 251, as Document No. 431289 and Part of Lot 1 of Certified Survey Map No. 1252 as recorded in Volume 6 of Certified Survey Maps, page 14, as Document No. 469446, all of Lot 1 of Certified Survey Map No. 1284 as recorded in Volume 6 of Certified Survey Maps, page 46, as Document No. 471235, all of Lots 1 and 2, part of Lot 27, all of Lot 28, part of Lot 29 and part of a vacated public alley in the Original Plat of the Village of Pardeeville located in Government Lot 14, Section 3, Township 12 North, Range 10 East, Village of Pardeeville, Columbia County, Wisconsin.

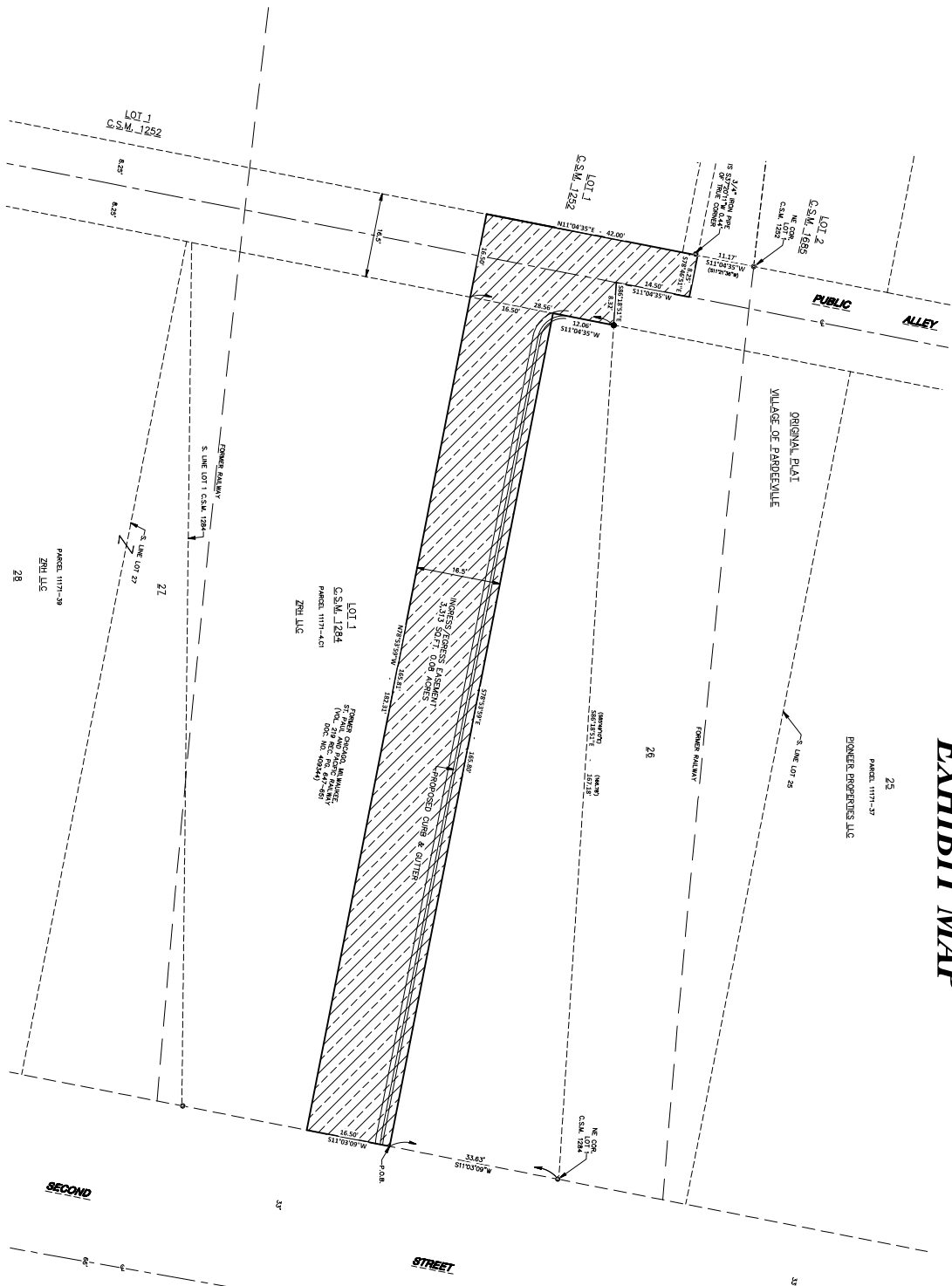
(Tax Parcel No. to be determined)

EXHIBIT B

EASEMENT PROPERTY

[See Attached]

EXHIBIT MAP



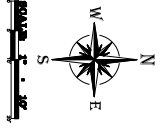
25
PANEL 1171-37
PIONEER PROPERTIES LLC

LOT 1
C.S.M. 1284
PANEL 1171-41
ZNI LLC

22
PANEL 1171-38
ZNI LLC

28
PANEL 1171-39
ZNI LLC

ZNI LLC Property, Columbia County, WI
Business Estimate:
 Commencing at the Northwest corner of Lot 1, Certified Survey Map, No. 1284 and being in the West right-of-way line of Second Street, 31.00 feet to the point of beginning.
 Thence South 11°42'55" West along the East line of Lot 1, Certified Survey Map, No. 1284 and the West right-of-way line of Second Street, 14.50 feet to the point of beginning.
 Thence South 78°32'58" West, 182.11 feet to a point in the West right-of-way line of a public alley.
 Thence South 78°46'01" East, 4.29 feet to a point in the southeast corner of a stable alley.
 Thence South 11°42'55" West along the centerline of said alley, 14.50 feet to the point of beginning.
 Thence South 82°22'00" West along the West line of Lot 1, Certified Survey Map, No. 1284 and being in the East right-of-way line of a public alley, 12.00 feet to the point of beginning.
 Containing 31.93 square feet (0.08 acres), more or less.



- LEGEND**
- 3/4" IRON ROD FND.
 - 1/4" IRON PIPE FND.
 - 1" IRON PIPE FND.

CLIENT
 KWIK TRIP, INC.
 1826 OAK STREET
 PORTLAND, WI 53001

OWNER
 1826 OAK STREET
 LAPORESS, WI 54602-2107

SURVEYOR
 SCOTT P. HEWITT
 P.O. BOX 373
 PORTLAND, WI 53001
 PHONE: (608) 742-7788
 FAX: (608) 742-0434 (959) 544-8977
 e-mail: survey@grothman.com

106 & 108 MAIN STREET &
 106 EAST CHESTNUT STREET
 PARDEWILLE WI.

Kwik Trip, Inc.

GA GROTHMAN & ASSOCIATES S.C.
 106 & 108 MAIN STREET &
 106 EAST CHESTNUT STREET
 PARDEWILLE, WI 54602
 PHONE: (608) 742-7788
 FAX: (608) 742-0434
 E-MAIL: SURVEY@GROTHMAN.COM

SCALE: 1" = 10'	FILE NOS: 720-295
DRAWN BY: ZNI	DRAWING NOS: 123-295
CHECKED BY: KASPER	DRAWING NOS: 123-603
DATE: 11/11/11	SHEET 1 OF 1

Document Number

**PUBLIC WATERMAIN
EASEMENT AGREEMENT**

Name and Return Address:

Lara Czajkowski Higgins
P.O. Box 2107
La Crosse, WI 54602-2107

11171-4.C1; 11171-4.E1
Parcel Identification Number (PIN)

PUBLIC WATERMAIN EASEMENT

THIS PUBLIC WATERMAIN EASEMENT AGREEMENT (“Agreement”), dated _____, 2024, by and between ZRH, LLC, a Delaware limited liability company (“Grantor”) and the Village of Pardeeville, a Wisconsin municipal corporation, (“Grantee”) is granted for the purpose of a watermain easement. The following statements are a material part of this Agreement:

- A. Grantor owns the real estate described on the attached Exhibit A (“Grantor’s Property”); and
- B. Grantor is willing to grant to Grantee a public watermain easement under that certain portion of Grantor’s Property legally described and depicted on the attached Exhibit B (“Easement Property”), pursuant to the terms and conditions contained in this Agreement.

NOW, THEREFORE, for valuable consideration, the receipt and sufficiency of which are acknowledged, the following grants, agreements and covenants are made:

WATERMAIN EASEMENT

Grantor hereby grants and conveys to Grantee a non-exclusive public watermain easement to allow Grantee to maintain and repair watermain facilities (“Easement”), that run beneath the Easement Property, together with the right to enter upon the Easement Property as may be necessary for such purposes. Such use by Grantee of the Easement Property shall not unreasonably interfere with Grantor’s use and enjoyment of Grantor’s Property, including the Easement Property.

CONSTRUCTION/MAINTENANCE

Grantor shall be responsible for the initial construction of the watermain facilities within the Easement Property at Grantor’s sole cost and expense. Grantee shall be responsible for all future and ongoing maintenance, repair and/or reconstruction of the watermain facilities within the Easement Property at Grantee’s sole cost and expense.

RESTRICTIONS

No building shall be permitted on or within the Easement Property, and no other use shall be made of the Easement Property that unreasonably interferes with the rights granted to Grantee herein.

Following any entry upon the Easement Property by Grantee or its agents for the purposes set forth in this Agreement, Grantee agrees to promptly restore the surface to the condition existing immediately prior to such entry by Grantee or its agents.

INDEMNITY

Each party (“Indemnifying Party”) shall indemnify, defend, and hold harmless the other party, its officers, agents and employees from all liability, suits, actions, claims, costs, damages, and expenses of every kind and description, including court costs and legal fees, for claims of any character, including liability and expenses in connection with the loss of life, personal injury, or damage to property, brought because of any injuries or damages received or sustained by any person, persons, or property on account of or arising out of the use of the Easement Property by the Indemnifying Party or its agents, contractors, subcontractors, invitees, or employees. By entering into this Agreement, Grantee is not waiving any of the right afforded Grantee pursuant to Wis. Stats. § 893.80,

WARRANTIES OF TITLE

Grantor warrants that it has good and indefeasible fee simple title to Grantor's Property, that Grantor has the full right and lawful authority to grant this Easement, and that Grantee and its successors shall and may peaceably have, hold, and enjoy the Easement.

RUNNING OF BENEFITS

All provisions of this Agreement, including the benefits and burdens, run with the land and are binding upon and inure to the benefit of the heirs, assigns, licensees, invitees, successors, tenants, employees and personal representatives of the owners of their respective properties.

AMENDMENTS OR TERMINATION

This Easement may be amended or terminated by a document executed by both Grantor and Grantee, or their successors or assigns, as the case may be, and the consent of no other party shall be required. Any such document shall be duly recorded in the office of the Register of Deeds of Columbia County, Wisconsin.

NOTICES

Notices given under this Agreement shall be in writing and shall be sent to each party at the address set forth below and shall be deemed given and effective when delivered in person to the other party or three (3) business days after being deposited in the U.S. Mail, postage prepaid, sent by registered or certified mail or sent by nationally recognized overnight carrier (e.g., Federal Express) to the other party's address for notices set forth below:

ZRH, LLC
Attn: Legal Department
P.O. Box 2107
La Crosse, WI 54602-2107

Village of Pardeeville
Attn: _____
114 Lake Street
Pardeeville, WI 53954

[Signature pages follow]

ZRH, LLC

By: _____

Name: _____

Its: _____

STATE OF WISCONSIN)
) ss.
COUNTY OF LA CROSSE)

I, the undersigned, a Notary Public in and for said County, in said State, hereby certifies that _____, the _____ of Kwik Trip, Inc., Manager of ZRH, LLC, a Delaware limited liability company, has signed the foregoing instrument, and who is known to me, acknowledged before me on this date that, being informed of the contents of the instrument, he executed the same voluntarily for and as the act of said company.

Dated this _____ day of _____, 2024.

Notary Public, State of Wisconsin
My commission: _____

VILLAGE OF PARDEEVILLE, WISCONSIN

By: _____

Name: _____

Its: _____

By: _____

Name: _____

Its: _____

STATE OF WISCONSIN)
) ss.
COUNTY OF COLUMBIA)

I, the undersigned, a Notary Public in and for said County, in said State, hereby certifies that _____ and _____, the _____ and _____ respectively, of the Village of Pardeeville, a Wisconsin municipal corporation, have signed the foregoing instrument, and who are known to me, acknowledged before me on this date that, being informed of the contents of the instrument, they executed the same voluntarily for and as the act of said municipal corporation.

Dated this _____ day of _____, 2024.

Notary Public, State of Wisconsin
My commission: _____

This document was drafted by:
Lara Czajkowski Higgins, Attorney at Law
P. O. Box 2107
La Crosse, WI 54602-2107

EXHIBIT A

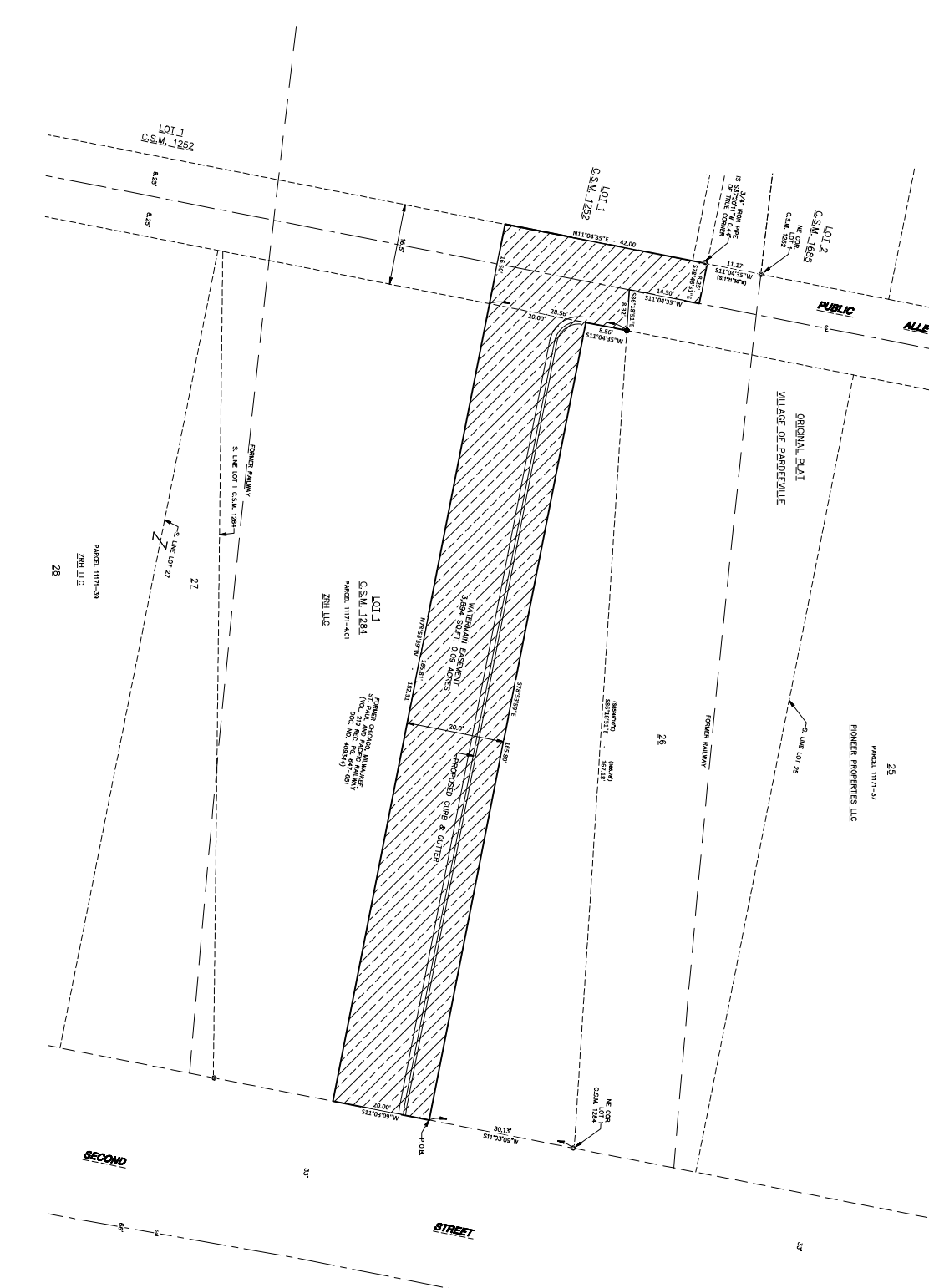
GRANTOR'S PROPERTY

Lot 1 of Columbia County Certified Survey Map No. _____, as Recorded in Volume ____ of Certified Survey Maps, page ____, as Document No. _____, being Part of Lot 1 of Certified Survey Map No. 776, as Recorded in Volume 3 of Certified Survey Maps, page 251, as Document No. 431289 and Part of Lot 1 of Certified Survey Map No. 1252 as recorded in Volume 6 of Certified Survey Maps, page 14, as Document No. 469446, all of Lot 1 of Certified Survey Map No. 1284 as recorded in Volume 6 of Certified Survey Maps, page 46, as Document No. 471235, all of Lots 1 and 2, part of Lot 27, all of Lot 28, part of Lot 29 and part of a vacated public alley in the Original Plat of the Village of Pardeeville located in Government Lot 14, Section 3, Township 12 North, Range 10 East, Village of Pardeeville, Columbia County, Wisconsin.

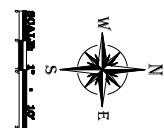
EXHIBIT B
EASEMENT PROPERTY

[See Attached]

EXHIBIT MAP



ZEH LLC Property - Columbia County, WI
Metrean Easement:
 Connecting at the Northwest corner of Lot 1, Certified Survey Map, No. 794 and being in the West (easement) line of Second Street, 20.75 feet to the point of beginning.
 Thence easterly along the East line of Lot 1, Certified Survey Map, No. 794 and the West (easement) line of Second Street, 54.26 feet to the point of beginning.
 Thence southerly along the West line of Lot 1, Certified Survey Map, No. 794 and the West (easement) line of Second Street, 54.26 feet to the point of beginning.
 Thence southerly along the West line of Lot 1, Certified Survey Map, No. 794 and the West (easement) line of Second Street, 54.26 feet to the point of beginning.
 Thence southerly along the West line of Lot 1, Certified Survey Map, No. 794 and the West (easement) line of Second Street, 54.26 feet to the point of beginning.
 Thence southerly along the West line of Lot 1, Certified Survey Map, No. 794 and the West (easement) line of Second Street, 54.26 feet to the point of beginning.
 Thence southerly along the West line of Lot 1, Certified Survey Map, No. 794 and the West (easement) line of Second Street, 54.26 feet to the point of beginning.
 Thence southerly along the West line of Lot 1, Certified Survey Map, No. 794 and the West (easement) line of Second Street, 54.26 feet to the point of beginning.



CLIENT
 ZEH LLC
 1826 OAK STREET
 PORTLAND, WI 53091
OWNER
 1826 OAK STREET
 LAKEWISSE, WI 54602-2107

SUPERVISOR
 SCOTT P. HEWITT
 P.O. BOX 373
 PORTLAND, WI 53091
 PHONE: (608) 742-7788
 FAX: (608) 742-0434
 e-mail: survey@grothman.com

LEGEND

- 3/4" IRON ROD FND.
- 5/8" IRON PIPE FND.
- 1" IRON PIPE FND.

DATE _____
REVISION _____
 Kwik Trip, Inc.

GA GROTHMAN & ASSOCIATES S.C.
 106 & 108 MAIN STREET &
 106 EAST CHESTNUT STREET
 PARDEEVILLE WI

SCALE: 1" = 10'
 SHEET NO.: 221-294
 FILE NOS: 720-295
 DRAWING NO.: 1733-603
 SHEET 1 OF 1

Document Number

RELEASE

Name and Return Address:

Lara Czajkowski Higgins
P.O. Box 2107
La Crosse, WI 54602-2107

11171-39

Parcel Identification Number (PIN)

RELEASE

The undersigned, ZRH, LLC, a Delaware limited liability company, successor in interest to Harry Frederick, has all interest and rights regarding a right of way and walk way contained in the Warranty Deed recorded on June 4, 1948 in Volume 220, pages 223-224, as Document No. 256646 (“Warranty Deed”)in the office of the Register of Deeds for Columbia County, Wisconsin, a copy of which is attached hereto as Exhibit A, and depicted on Exhibit B attached hereto. The undersigned, for valuable consideration, the receipt of which is hereby acknowledged, hereby releases all of its right, title and interest in the Warranty Deed and the Warranty Deed shall terminate effective as of this date.

ZRH, LLC

By: _____

Name: _____

Its: _____

STATE OF WISCONSIN)
) ss.
COUNTY OF LA CROSSE)

Personally came before me on _____, 2024, the above named _____, the _____ of Kwik Trip, Inc., Manager of ZRH, LLC, a Delaware limited liability company, and to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, State of _____
My commission expires: _____

This document was drafted by:
Lara Czajkowski Higgins
P.O. Box 2107
La Crosse, WI 54602-2107

EXHIBIT A

[See attached]

This Indenture, Made this 15th day of ~~June~~ MAY A. D. 1948

BETWEEN PARDEEVILLE CANNING COMPANY

a Corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, located at Pardeeville, Wisconsin, party of the first part, and

HARRY FREDRICK part Y of the second part.

Witnesseth, That the said party of the first part, for and in consideration of the sum of _____

One Dollar and other valuable consideration

to it paid by the said part Y of the second part, the receipt whereof is hereby confessed and acknowledged, has given, granted, bargained, sold, remised, released, aliened, conveyed and confirmed, and by these presents does give, grant, bargain, sell, remise, release, alien, convey and confirm unto the said part Y of the second part, his heirs and assigns forever, the following described real estate, situated in the County of Columbia and State of Wisconsin, to-wit: _____

A strip of Land twenty one (21) feet wide front and Rear along the south side of Lot twenty-eight (28), Original Plat of the Village of Pardeeville.

Also a right of way in common with grantor, its successors and assigns over and across a strip of land nine (9) feet wide, the center line of which is described as follows: commencing at a point on the west line of Lot 28, original plat of the Village of Pardeeville, 25 1/2 feet north of the southwest corner of said Lot 28, Thence east and parallel with the south line of said Lot 28 to the east line of said Lot 28.

COMPARED

RS. 8.10.



TOGETHER with all and singular, the hereditaments and appurtenances thereunto belonging or in anywise appertaining; and all the estate, right, title, interest, claim or demand whatsoever of the said party of the first part, either in law or equity, either in possession or expectancy of, in and to the above bargained premises and their hereditaments and appurtenances.

To Have and to Hold the said premises as above described, with the hereditaments and appurtenances, unto the said part Y of the second part, and to his heirs and assigns FOREVER.

AND THE SAID Pardeeville Canning Company

party of the first part, for itself and its successors, does covenant, grant, bargain and agree, to and with the said part Y of the second part, his heirs and assigns, that at the time of the ensembling and delivery of these presents it is well seized of the premises above described, as of a good, sure, perfect, absolute and indefeasible estate of inheritance in the law, in fee simple, and that the same are free and clear from all incumbrances whatever, _____

and that the above bargained premises in the quiet and peaceable possession of the said part Y of the second part, his heirs and assigns, against all and every person or persons lawfully claiming the whole or any part thereof, it will forever WARRANT AND DEFEND.

In Witness Whereof, the said Pardeeville Canning Company party of the first part, has caused these presents to be signed by _____ its President, and countersigned by _____ its Secretary, at Pardeeville, Wisconsin, and its corporate seal to be hereunto affixed, this 15 day of ~~June~~ MAY A. D. 1948

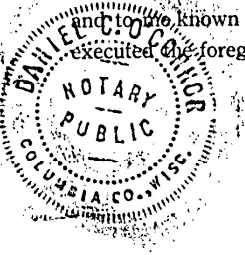
Signed and Sealed in presence of
Lars E. Osterhouse
Samuel C. O'Connor

PARDEVILLE CANNING COMPANY
Corporate Name
Kenneth W. Reuhl President
Countersigned: Wm J. Reuhl Secretary

State of Wisconsin, } ss.
Columbia County,

Personally came before me, this 15 day of ~~June~~ MAY A. D. 1948
Kenneth W. Reuhl, President, and Wm J. Reuhl Secretary, of the above named Corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such President and Secretary of said Corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said Corporation, by its authority.

Samuel C. O'Connor
Notary Public, Columbia County, Wis.
My commission expires May 7 1950



INDEXED
Grantor
Grantee
RE-CHECKED ON
GRANTOR

256646

Pardeeville Canning Co.

4.20 Dec 1948

STATE OF WISCONSIN } ss.
COLUMBIA COUNTY

Received for Record the 4 day of June A. D. 1948 at 8:20 o'clock P. M., and recorded in Vol. 220 of Deeds, page 223-4
E. A. Reuhl Register

S. C. O'Connor

COMPARED

INDEXED
Grantor
Grantee
RE-CHECKED ON
GRANTOR

356425

PARDEVILLE CANNING

COMPANY

TO

HARRY FREDRIK

Warranty Deed

REGISTER'S OFFICE

STATE OF WISCONSIN, }
COLUMBIA COUNTY.

Received for Record this 17 day of May A. D. 1948 at 11:30 o'clock A. M., and recorded in Volume 220 of Deeds, on page 54-55

E. A. Reuhl
Register of Deeds.

Deputy:

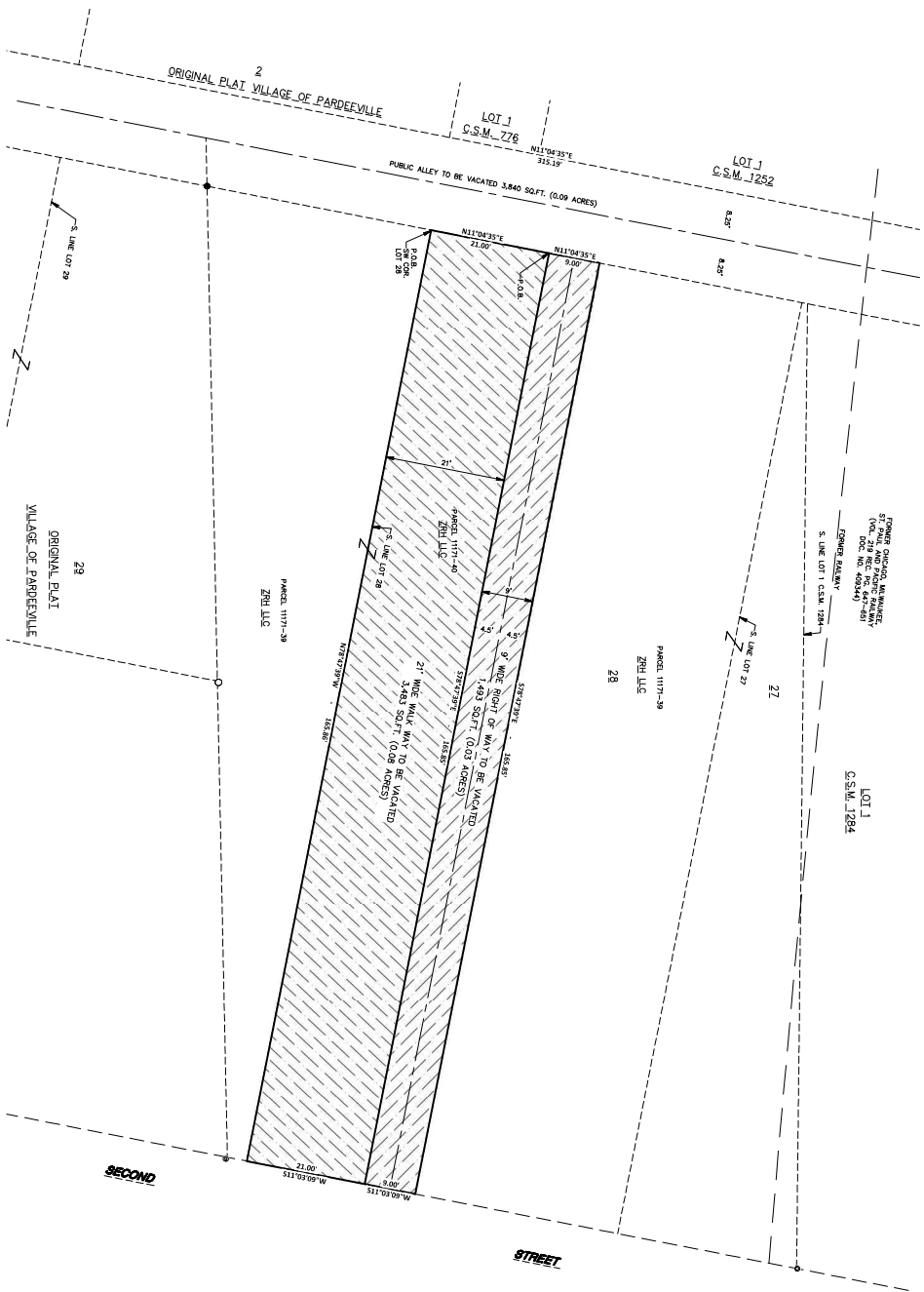
Samuel C. O'Connor

COMPARED

EXHIBIT B

[See attached]

EXHIBIT MAP



ST. PAULI COUNTY, WISCONSIN
 S. LINE LOT 1 C.S.M. 1252
 S. LINE LOT 1 C.S.M. 1252
 S. LINE LOT 1 C.S.M. 1252
 S. LINE LOT 1 C.S.M. 1252
 S. LINE LOT 1 C.S.M. 1252

LOT 1
 C.S.M. 1284

LEGAL DESCRIPTION

Being part of Lot 28, Original Plat of Pardeeville located in the Southeast Quarter of the Northwest Quarter, Section 3, Town 12 North, Range 10 East, Village of Pardeeville, Calumet County, Wisconsin, described as follows:

Beginning at the Southwest corner of Lot 28, Original Plat of Pardeeville and being in the East right-of-way line of a public alley, 315.19 feet East along the West line of Lot 28 and the East right-of-way line of an existing alley, 21.00 feet to the point of beginning.

Then continuing North 11°34'35" East along the West line of Lot 28 and the East right-of-way line of a public alley, 165.85 feet to the East line of Lot 28 and the West right-of-way line of Second Street, 11°10'07" West along the East line of Lot 28 and the West right-of-way line of Second Street, 520 feet.

Then being 25°27'27" West, 105.85 feet to the point of beginning.

Containing 3,483 square feet (0.08 acres), more or less.

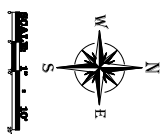
21' Wide Public Alley to be Vacated

Being part of Lot 28, Original Plat of Pardeeville, located in the Southeast Quarter of the Northwest Quarter, Section 3, Town 12 North, Range 10 East, Village of Pardeeville, Calumet County, Wisconsin, described as follows:

Beginning at the Southwest corner of Lot 28 and being in the East right-of-way line of a public alley, 21.00 feet North 11°34'35" East along the West line of Lot 28 and the East right-of-way line of a public alley, 21.00 feet to the point of beginning.

Then being 25°27'27" West, 105.85 feet to the East line of Lot 28 and the West right-of-way line of Second Street, 11°10'07" West along the East line of Lot 28 and the West right-of-way line of Second Street, 21.00 feet to the Southwest corner of Lot 28, South East of Lot 28, 165.85 feet to the point of beginning.

Containing 3,483 square feet (0.08 acres), more or less.



CLIENT
 KWIK TRIP, INC.
 1420 SOUTH STREET
 LA CROSSE, WI 54602

OWNER
 1628 OAK STREET
 LA CROSSE, WI 54602-2107

SURVEYOR
 SCOTT R. HEWITT
 P.O. BOX 228
 PARKEE, WI 53901
 PHONE: SAULY FREARDE (608) 744-8877
 FAX: (608) 742-0434
 e-mail: survey@gpdprom.com

LEGEND

- ▲ 1/4" IRON ROD FND.
- 3/4" IRON ROD FND.
- CHESTED "X" IN CONCRETE FND.
- 3/4" IRON PIPE FND.
- DRILL HOLE FND.
- 1" IRON PIPE FND.

DATE	REVISION	BY

Kwik Trip, Inc.

108 & 108 MAIN STREET &
 108 EAST CHESTNUT STREET
 PARDEEVILLE WI.

GA GROTHMAN & ASSOCIATES S.C.
 108 EAST CHESTNUT STREET
 PARDEEVILLE, WI 53901
 PHONE: (608) 742-0434
 FAX: (608) 742-0434
 www.grothman.com

SCALE: 1" = 100'

DATE: 11/22/2014	FILE NO: 220-395
DRAWN BY: KASPER	DRAWING NO: 123-603
CHECKED BY: S. HEWITT	SHEET 1 OF 1

Long-Term Stormwater Management Maintenance Agreement

This Long-Term Stormwater Management Maintenance Agreement ("Agreement") is entered into this ____ day of _____ by ZRH, LLC, a Delaware limited liability company ("Owner") and the Village of Pardeeville, a Wisconsin municipal corporation ("Village").

PROJECT SITE

Kwik Trip Store #314 Pardeeville, WI (the "Project Site").

PROPERTY LEGAL DESCRIPTION

Lot 1 of Columbia County Certified Survey Map No. _____, as Recorded in Volume ____ of Certified Survey Maps, page ____, as Document No. _____, being Part of Lot 1 of Certified Survey Map No. 776, as Recorded in Volume 3 of Certified Survey Maps, page 251, as Document No. 431289 and Part of Lot 1 of Certified Survey Map No. 1252 as recorded in Volume 6 of Certified Survey Maps, page 14, as Document No. 469446, all of Lot 1 of Certified Survey Map No. 1284 as recorded in Volume 6 of Certified Survey Maps, page 46, as Document No. 471235, all of Lots 1 and 2, part of Lot 27, all of Lot 28, part of Lot 29 and part of a vacated public alley in the Original Plat of the Village of Pardeeville located in Government Lot 14, Section 3, Township 12 North, Range 10 East, Village of Pardeeville, Columbia County, Wisconsin (the "Property").

RESPONSIBLE PARTY

The Owner is responsible for satisfying the provisions of this Agreement throughout the Project Site for the duration of the construction period and upon completion of all construction phases. Unless otherwise expressly provided herein, all terms of this Agreement shall remain operative and in full force and effect on the parties and subsequent assignees or purchasers of the Property or any portion thereof. No modification, alteration, or amendment to this Agreement shall be binding upon any party hereto until such modification, alteration, or amendment is reduced to writing and executed by Owner and the Village.

PERMANENT COMPONENTS OF THE STORMWATER SYSTEM

The stormwater system consists of the following components:

- Wet Detention Basin with Oil Skimmer on Outlet Structure
- Storm Sewer and Outlets

INSPECTION AND MAINTENANCE

All components of the stormwater system shall be inspected by Owner at least semiannually in early Spring and early Autumn and after major storm events. Pond vegetation will be maintained bi-weekly with the rest of the site. Repairs will be made by Owner whenever the performance of a stormwater system is compromised. Soil erosion, clogged or damaged inlets, sedimentation, rilling of side slopes, and other compromised features of the stormwater system are examples of items requiring repair work.

The operation and maintenance plan shall remain onsite and be available for inspection when requested by the Wisconsin Department of Natural Resources (the "Department") or the Village. When requested, the Owner shall make all maintenance records available for inspection to the Department or its agents for the life of the stormwater system.

The Post Construction Long Term Inspection Form, a copy of which is attached hereto as Exhibit A and incorporated herein by name, sets forth Owner's maintenance requirements.

PROHIBITIONS

Wet Detention Basins

- Visually inspect the basin outlet structure(s) and perimeter semi-annually. All undesirable vegetation and volunteer tree growth shall be removed, including close proximity to the outlet structure.

- Check the outlet structure(s) for deterioration or damage, obstructions, sediment, and general operation (including emergency drawdown & overflow devices if present).
- Check the condition at the receiving area/channels at the outlet and downstream from the release structures for stability and signs of erosion damage or sparse vegetation.
- A topographic survey of the pond bottom and sediment depth shall be conducted every 5 years at the request of the Village. The survey shall be of sufficient detail so as to evaluate volume of accumulated sediment. Survey data shall be sealed by a registered land surveyor or engineer.
- Accumulated sediment in the permanent pool area, as identified by the topographic survey, shall be dredged and disposed offsite as required by Wisconsin Department of Natural Resources Technical Standard 1001 – Wet Detention Pond.
- Access to the basin must be maintained to perform inspection and maintenance activities.
- No planting of structures of any kind are permitted within the retention pond area without prior written approval of the Village Engineer.

DUTY TO PROVIDE MAINTENANCE

The Village is authorized to access the property to conduct inspections of the stormwater system as necessary to ascertain that the system is being maintained and operated in accordance with this Agreement. The Village shall maintain public records of the results of the site inspections, shall inform the Owner for maintenance of the inspection results, and shall specifically indicate any corrective actions required to bring the stormwater system into proper working condition. If the Village notifies the Owner of maintenance problems that require correction, the specified corrective actions shall be taken within a reasonable time frame as set by the Village's Building Inspector. The Village is authorized to perform the corrective actions identified in the inspection report if the Owner does not make the required corrections in the specified time period. The Village Clerk-Treasurer may invoice Owner for the cost of such repairs or may enter the amount due on the tax rolls and collect the money as a special charge against the Property pursuant to § 66.0627, Wis. Stats.

[Signature Page Follows]

SIGNATURES

The undersigned agree to the provisions set forth in this Agreement.

ZRH, LLC

By: _____
David P. Wagner, CFO & Treasurer of Kwik Trip, Inc.,
its Manager

Dated: _____

STATE OF WISCONSIN)
)ss.
LA CROSSE COUNTY)

Personally came before me the ____ day of _____, 2024 the above named David P. Wagner, to me known to be the CFO & Treasurer of Kwik Trip, Inc, Manager of ZRH, LLC, a Delaware limited liability company, and to me known to be the person who executed the foregoing document and acknowledged the same.

Notary Public, State of Wisconsin
La Crosse County.
My Commission expires: _____

VILLAGE OF PARDEEVILLE, WISCONSIN

By: _____

Dated: _____

Name: _____

Its: _____

By: _____

Name: _____

Its: _____

STATE OF WISCONSIN)
)ss.
COLUMBIA COUNTY)

Personally came before me the ____ day of _____, 2024 the above named _____ and _____, to me known to be the _____ and _____ respectively, of the Village of Pardeeville, a Wisconsin municipal corporations, and to me known to be the persons who executed the foregoing document and acknowledged the same.

Notary Public, State of Wisconsin
Columbia County
My Commission expires: _____

Exhibit A

Post Construction Long Term Inspection Form

Post Construction Long Term Maintenance Plan for Kwik Trip #314: Pardeeville, WI

System Description:

The site consists of a series of storm water conveyances through sheet draining and piping. Runoff will all drain to a wet pond in the southeast corner of the property. Oil skimmers are located in the two inlet catch basins for the pond. Outlet structure for the pond connects into the village's catch basin on Chestnut Street.

System Maintenance

Catch Basin / Manhole and Oil Skimmer

- The facility structure should be checked annually for signs of damage and cracks to top slab, walls and bottom.
- The structure's cover or grate should be fully in place.
- Metal grates shall be free of debris and vegetation.
- Grates should be checked for missing or broken members of the grate.
- Ladder should be inspected for missing rungs, wall attachments, rust, cracks or sharp edges.
- The structure bottom and pipes should be clear of vegetation and debris.
- Remove sediment when it is within 12 inches from the lowest pipe invert or 50% of sump depth.

Outflow Control Structures

- The facility structure should be checked annually for signs of damage and cracks to top slab, walls and bottom.
- The structure cover or grate should be fully in place.
- Metal grates shall be free of debris and vegetation.
- Grates should be checked for missing or broken members of the grate.
- Ladder should be inspected for missing rungs, wall attachments, misalignment, rust, cracks or sharp edges.
- Removed debris from interior trash rack (if present).

OUR MISSION

To serve our customers and community more effectively than anyone else by treating our customers, co-workers and suppliers as we, personally, would like to be treated, and to make a difference in someone's life.

- The connection of the interior steel plates to the structure should be inspected for cracks.
- The structure bottom and pipes should be clear of vegetation and debris.
- Remove sediment when it is within 12 inches from the lowest pipe invert.

Apron and Riprap

- The facility structure should be checked annually for signs of damage to apron.
- The end of pipe, apron and surrounding riprap should be free of debris.
- Inspect for erosion around apron.
- Inspect for erosion and sediment accumulation within the riprap.

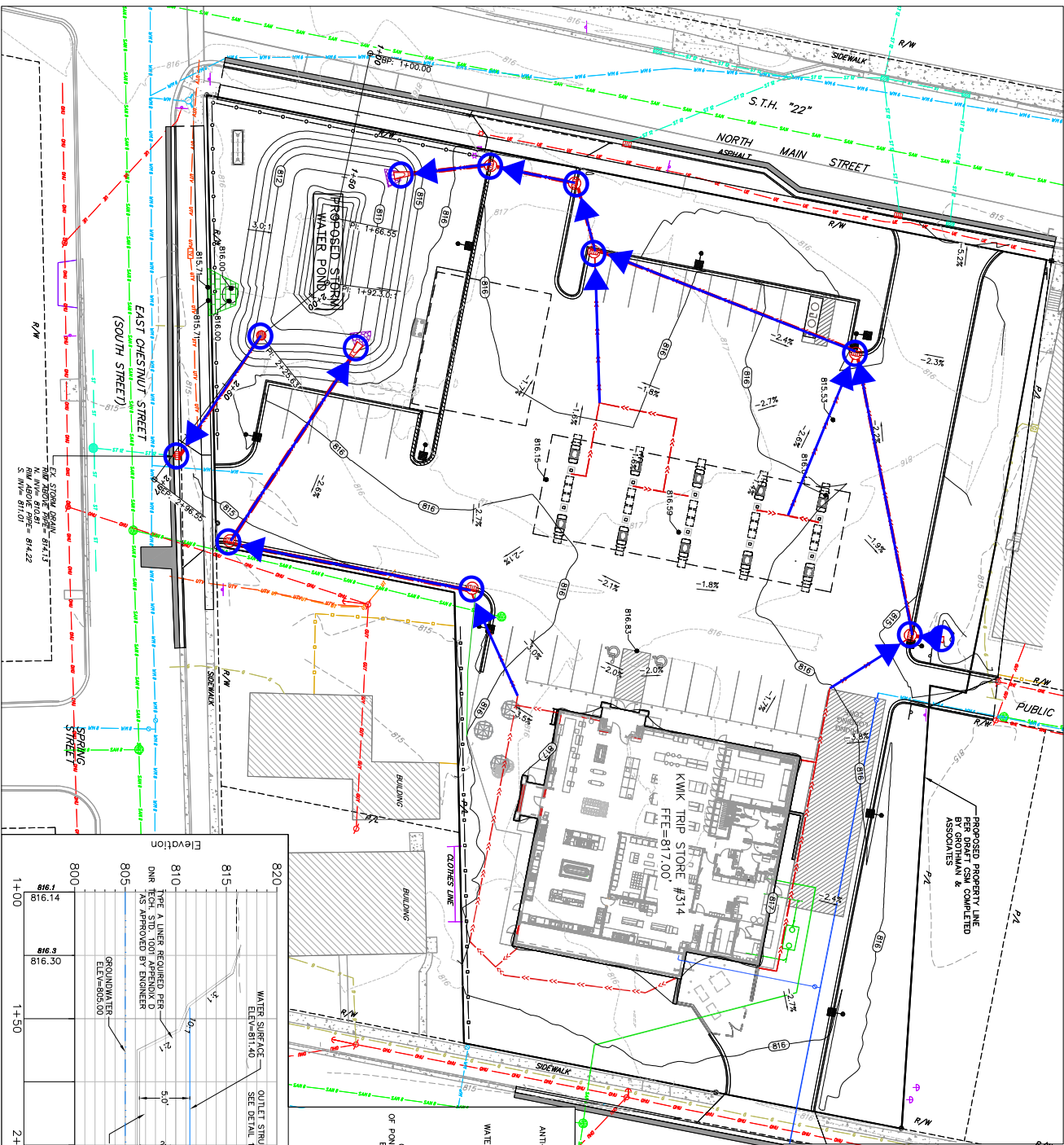
Storm Detention Areas/Wet Ponds

- The facility should be checked annually for signs of erosion or bare soil along the perimeter, inlet pipe or swale, side slopes and at the inlet/outlet devices.
- Remove any dead or invasive vegetation and trees.
- Keep all areas free of debris.
- Remove sediment by hand with a flat-bottomed shovel during dry periods. Remove only the amount of sediment necessary to restore hydraulic capacity, leaving as much of the vegetation in place as possible. Reseed or unplug any damaged turf or vegetation.

****NOTE**

- Some sediment may contain contaminants that requires special disposal. If there is uncertainty about what the sediment contains or it is known to contain contaminants, the Department of Natural Resources should be consulted through Kwik Trip’s Environmental Department. Generally, special attention or sampling should be given to sediment accumulated in fueling areas, large parking lots, or other areas where pollutants (other than clean soil) are suspected to accumulate and be conveyed by storm runoff.
- Some sediment collected may be free of pollutants and can be used as fill material. It is vital that this material not be placed in any way that will promote or allow re-suspension in the storm runoff.

Tasks	Street Clean	Underground Storm Sewer System	Catch Basin	Ditches & Swales	Outflow Control Structures	Apron/ Rip Rap	Infiltrations Basins	Storm Detention Areas	Wetland Issues	Schedule
Inspection		X	X	X	X	X	X	X	X	Annual
Clean Streets	X									Annual
Mowing				X			X	X		0-2 times per year
System Clean Out		X								1 Time per 4 years



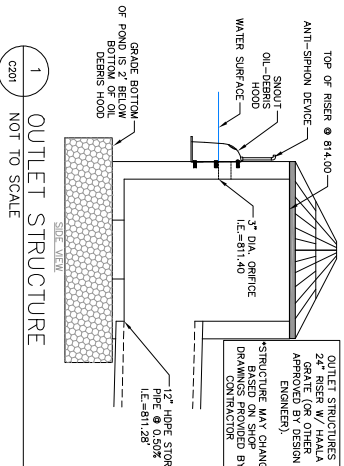
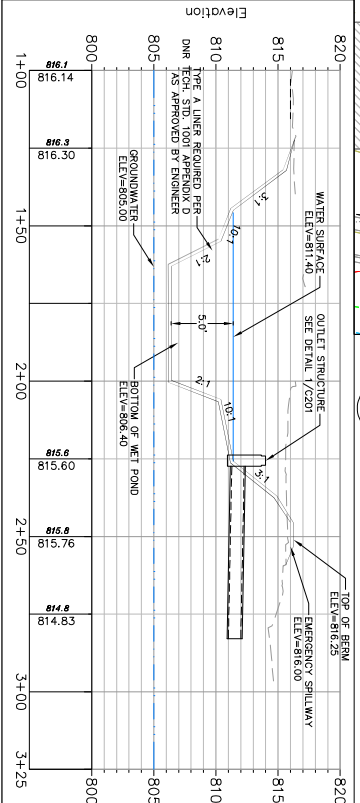
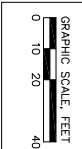
GRADING LEGEND

- 820- EXISTING MAJOR CONTOURS
- 819- EXISTING MINOR CONTOURS
- 820- PROPOSED MAJOR CONTOURS
- 819- PROPOSED MINOR CONTOURS
- 1046.61 EXISTING SPOT ELEVATIONS
- 1046.61 PROPOSED SPOT ELEVATIONS

ABBREVIATIONS

- TC - TOP OF CURB
- FF - FINISHED FLOOR
- FM - FINISHED GRADE
- SM - TOP OF MOUND
- BM - BOTTOM OF WALL

NOTE: ALL TANK MANHOLES AND FILLS SHALL HAVE A 0.1% RISE FROM FINISHED PAVEMENT GRADES WITHIN A 4' RADIUS



GRADING PLAN - SPOT DETAILS
CONVENIENCE STORE #314
 108 N MAIN STREET
 PARDEEVILLE, WI

DRAWN BY: ZHU
 SCALE: AS SHOWN
 PROJECT NO.: 2024-0322
 DATE: 2024-03-22
 SHEET: C201

Kwik Trip, Inc.
 P.O. BOX 2107
 LAFAYETTE, IN 47904
 PH. (693) 781-8888
 FAX (693) 781-8880

vierebicher
 ENGINEERS ARCHITECTS

KWIK TRIP STORES

KWIK TRIP STORES



Kwik Trip Stormwater BMP Inspection

Store #: 314

Number of BMPs: 15

Location (City, State): Pardeeville, WI

Weather: _____

Inspection date: _____

Inspection By: _____

Inspection Results:

<u>Maintenance Required:</u>	YES	NO	N/A	<u>Maintenance Required:</u>	YES	NO	N/A
Infall Erosion	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Woody Vegetation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Outfall Erosion	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sparse/Weedy Vegetation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Outlet Structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Infiltration Failure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Depth/Sediment Accumulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Algae	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Basin Liner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Invasive Species	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Safety Shelf	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Permanent Pool Leve	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other Structures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Other			

Attach pictures on last page

Communication Notes

Phone Fax Written E-Mail Personal Discussion

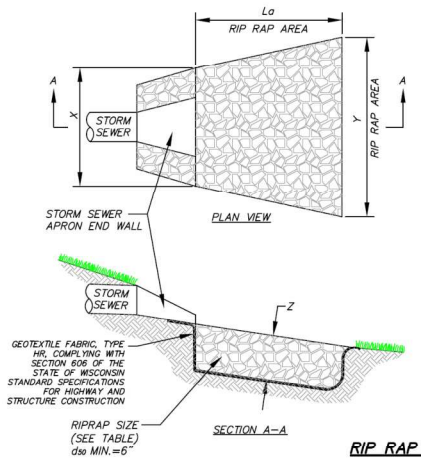
To whom: _____

Comments: _____

<p>Structure Quantity: 08</p> <p>CASTING MINIMUM OF 2 REINFORCED CONCRETE ADJUSTING RINGS PLACE FULL MORTAR BED BETWEEN RINGS, AND MORTAR INTERIOR AND EXTERIOR OF RINGS. MAXIMUM 12 INCHES OF RINGS INCLUDING MORTAR</p> <table border="1"> <thead> <tr> <th>1"</th> <th>1 1/2"</th> <th>2"</th> <th>3"</th> <th>4"</th> <th>5"</th> <th>6"</th> <th>8"</th> <th>10"</th> <th>12"</th> </tr> </thead> <tbody> <tr> <td>44"</td> <td>44"</td> <td>64"</td> <td>64"</td> <td>84"</td> <td>84"</td> <td>84"</td> <td>84"</td> <td>84"</td> <td>84"</td> </tr> <tr> <td>164"</td> <td>164"</td> <td>184"</td> <td>184"</td> <td>204"</td> <td>204"</td> <td>204"</td> <td>204"</td> <td>204"</td> <td>204"</td> </tr> <tr> <td>104"</td> <td>104"</td> <td>124"</td> <td>124"</td> <td>144"</td> <td>144"</td> <td>144"</td> <td>144"</td> <td>144"</td> <td>144"</td> </tr> <tr> <td>184"</td> <td>184"</td> <td>204"</td> <td>204"</td> <td>224"</td> <td>224"</td> <td>224"</td> <td>224"</td> <td>224"</td> <td>224"</td> </tr> <tr> <td>124"</td> <td>124"</td> <td>144"</td> <td>144"</td> <td>164"</td> <td>164"</td> <td>164"</td> <td>164"</td> <td>164"</td> <td>164"</td> </tr> <tr> <td>204"</td> <td>204"</td> <td>224"</td> <td>224"</td> <td>244"</td> <td>244"</td> <td>244"</td> <td>244"</td> <td>244"</td> <td>244"</td> </tr> </tbody> </table> <p>REINFORCED CONCRETE COVER CONFORMING TO ASTM C478 MORTAR JOINT OR USE PRE-FORMED JOINT FILLER REINFORCED CONCRETE SECTIONS CONFORMING TO ASTM C478 JOINTS SHALL BE TYPE R-4 WITH RUBBER "O"-RING GASKETS. SEAL OPENINGS AROUND PIPE WITH CONCRETE BLOCK AND MORTAR, BOTH INSIDE AND OUTSIDE OF MANHOLE. STRUCTURE SHALL BE FINISHED SMOOTH. CONSTRUCT BENCHES WITH CONCRETE FILL THE TOP OF THE BENCHES SHALL MATCH SPRING LINE OF THE PIPES. THE BOTTOM OF THE BENCH SHALL PROVIDE A SMOOTH TRANSITION FROM INLET TO OUTLET. 1" MINIMUM CONCRETE FILL REINFORCED CONCRETE BASE SLAB CONFORMING TO ASTM C478</p>	1"	1 1/2"	2"	3"	4"	5"	6"	8"	10"	12"	44"	44"	64"	64"	84"	84"	84"	84"	84"	84"	164"	164"	184"	184"	204"	204"	204"	204"	204"	204"	104"	104"	124"	124"	144"	144"	144"	144"	144"	144"	184"	184"	204"	204"	224"	224"	224"	224"	224"	224"	124"	124"	144"	144"	164"	164"	164"	164"	164"	164"	204"	204"	224"	224"	244"	244"	244"	244"	244"	244"	<ul style="list-style-type: none"> • Casting • Adjustment rings and mortar • Concrete cover and mortar • Steps (if present), wall and floor • Pipes and seals • If sediment is present, use a rod to determine depth and if it needs to be removed
1"	1 1/2"	2"	3"	4"	5"	6"	8"	10"	12"																																																														
44"	44"	64"	64"	84"	84"	84"	84"	84"	84"																																																														
164"	164"	184"	184"	204"	204"	204"	204"	204"	204"																																																														
104"	104"	124"	124"	144"	144"	144"	144"	144"	144"																																																														
184"	184"	204"	204"	224"	224"	224"	224"	224"	224"																																																														
124"	124"	144"	144"	164"	164"	164"	164"	164"	164"																																																														
204"	204"	224"	224"	244"	244"	244"	244"	244"	244"																																																														
<p>Outlet Structure Quantity: 01</p> <p>TOP OF RISER @ 814.00 ANTI-SIPHON DEVICE SNOUT OIL-DEBRIS HOOD WATER SURFACE GRADE BOTTOM OF POND IS 2' BELOW BOTTOM OF OIL DEBRIS HOOD 3" DIA. ORIFICE I.E.=811.40 12" HDPE STORM PIPE @ 0.50% I.E.=811.28'</p> <p>OUTLET STRUCTURES 24" RISER W/ HAALA GRATE (OR OTHER APPROVED BY DESIGN ENGINEER). *STRUCTURE MAY CHANGE BASED ON SHOP DRAWINGS PROVIDED BY CONTRACTOR</p> <p>SIDE VIEW</p>	<ul style="list-style-type: none"> • Castings • Walls and steel plate connection • Orifice • Floor condition and plate connection • Pipes and seals 																																																																						
<p>Oil Skimmer Quantity: 02</p> <p>NEENAH R-1642-DR/DL CASTING MINIMUM OF 2 REINFORCED CONCRETE ADJUSTING RINGS PLACE FULL MORTAR BED BETWEEN RINGS, AND MORTAR INTERIOR AND EXTERIOR OF RINGS. MAXIMUM 12 INCHES OF RINGS INCLUDING MORTAR</p> <p>REINFORCED CONCRETE COVER CONFORMING TO ASTM C478 MORTAR JOINT OR USE PRE-FORMED JOINT FILLER REINFORCED CONCRETE SECTIONS CONFORMING TO ASTM C478 JOINTS SHALL BE TYPE R-4 WITH RUBBER "O"-RING GASKETS. SEAL OPENINGS AROUND PIPE WITH CONCRETE BLOCK AND MORTAR, BOTH INSIDE AND OUTSIDE OF MANHOLE. STRUCTURE SHALL BE FINISHED SMOOTH. CONSTRUCT BENCHES WITH CONCRETE FILL THE TOP OF THE BENCHES SHALL MATCH SPRING LINE OF THE PIPES. THE BOTTOM OF THE BENCH SHALL PROVIDE A SMOOTH TRANSITION FROM INLET TO OUTLET. 1" MINIMUM CONCRETE FILL REINFORCED CONCRETE BASE SLAB CONFORMING TO ASTM C478</p> <p>8" 24" 6.75" 18" HDPE INLET AS REQUIRED INVERT = 102.75 ADS-SNOUT 6" 30" HDPE OUTLET INV = 102.75 INV = 97.75</p>	<ul style="list-style-type: none"> • Casting • Adjustment rings and mortar • Concrete cover and mortar • Steps (if present), wall and floor • Pipes, snout and seals • If sediment is present, use a rod to determine depth and if it needs to be removed 																																																																						

Apron End Wall / Riprap

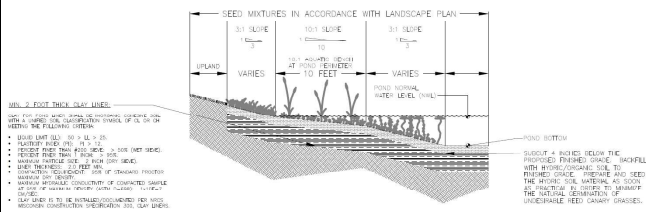
Quantity: 03



- Pipe Invert
- Apron end wall
- Riprap

Detention Basin / Wet Pond

Quantity: 01



- Vegetation (weeds or bare spots)
- Sediment depth / odor
- Erosion
- Emergency spill way
- Side Slopes

Photos Before Maintenance

Photos After Maintenance

Structure:	
Structure:	
Structure:	

Structure:	
Structure:	
Structure:	

REZONE APPLICATION

APPLICATION FEE \$150.00

(If this application is denied the Village retains \$100 and refunds \$50)

APPLICANT NAME(s): Trent Kastenschmidt

APPLICANT ADDRESS: 1626 Oak Street, La Crosse, WI 54603

TELEPHONE No. (608) 793-6456 DATE: 4/2/2024

SITE OWNER, IF DIFFERENT FROM APPLICANT(s): Kwik Trip, Inc.

ADDRESS OF SITE OWNER(s): 1626 Oak Street, La Crosse, WI 54603

TELEPHONE No. _____

CONTRACTOR, IF APPLICABLE: _____

CONTRACTOR, ADDRESS: _____

TELEPHONE No. _____ INSURANCE COMPANY: _____

ADDITIONAL REQUIREMENTS:

Set of plans are required under the following conditions:

- 1.) New building.
- 2.) Remodeling or enlarging of existing rooms, changing of entry or exits, etc.
- 3.) Use will become public versus private, i.e. Bed & Breakfasts, meeting halls, etc.
- 4.) Use to become commercial versus private.

Plat of Survey prepared by a registered land surveyor showing all the information as required by Section 58-11 for a Zoning Permit may be required by the Planning Commission and in addition the following:

- 1.) Mean and Historic high water lines on or within 40 feet of the subject premises.
- 2.) Existing or proposed landscaping.

Please provide the names of your architect or professional engineer or both if applicable:

ARCHITECT: Vantage Architects, Inc. Telephone No. (608) 784-2729 x 25

ENGINEER: Vierbicher Telephone No. (608) 434-1053

DESCRIPTION OF SUBJECT SITE:

Legal Description: See CSM included with submittal

Address: TBD

Current Zoning: B-2 Current Use: Empty Lot

Business Type, If Applicable: Commercial/Retail Number of Employees: 30

Requested Zoning: B-1

Proposed Use (make sure it meets ordinance uses):

Construction of a C-Store with 10 MPD fuel canopy

Residential:

Total # of dwelling units proposed: _____ Number of Parking Stalls off-street: _____

Commercial:

Type of Business: Commerical (C-Store) Hours of operation: 24

Sketch of Site: (To include lot size, building placement, parking, loading, highway access points before proposed change)

FLOOR PLAN or SITE PLAN OF USE REQUESTED:

A public hearing will be held for consideration of this application and all property owners within 200 ft. will be notified of said hearing.

I, hereby, certify that the information provided is true and correct.

4/2/2024
Date

Applicant: _____

Applicant: _____

Applicant: _____

Date Application Received: _____

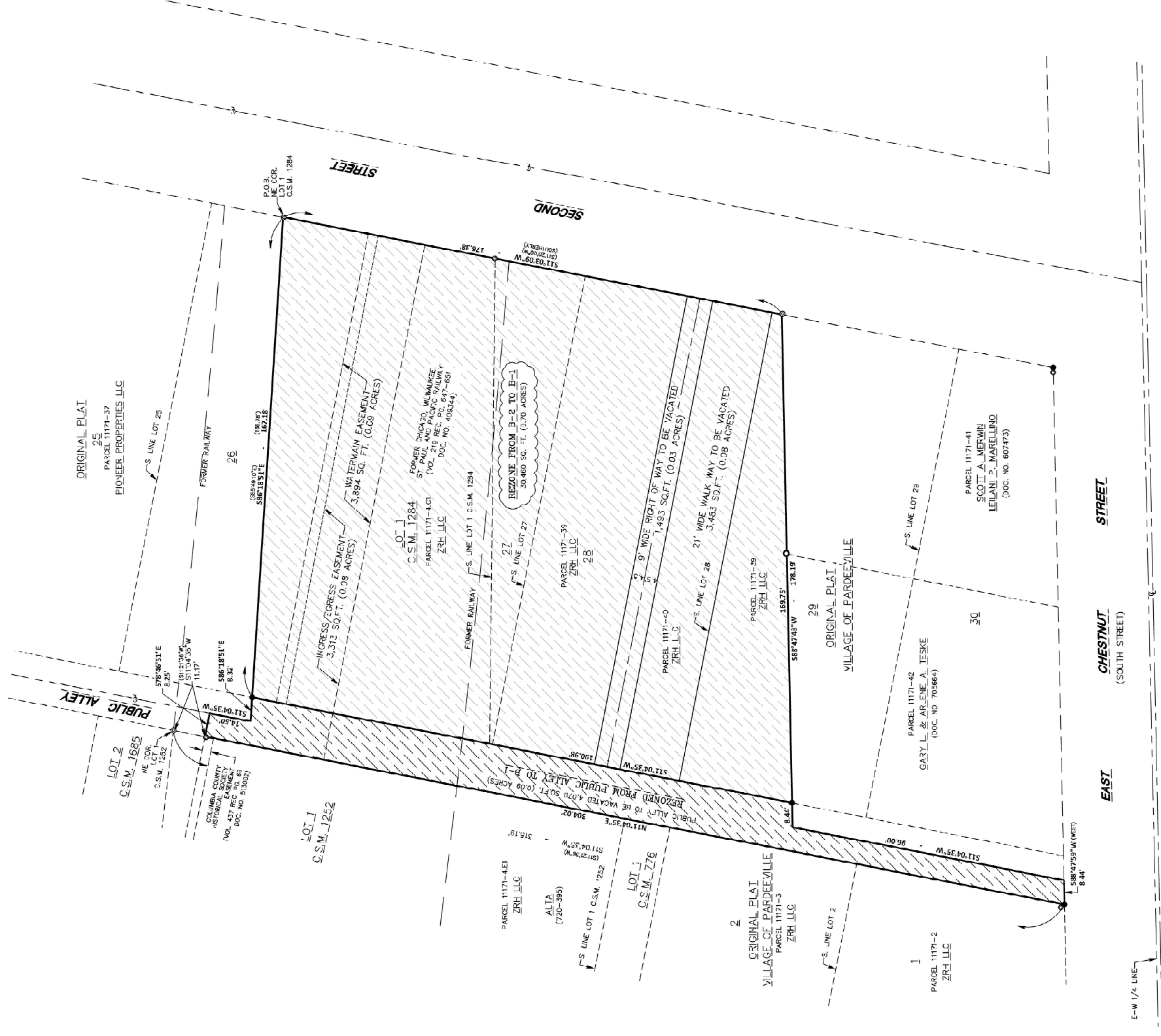
Scheduled Hearing Date: _____

Approved by Plan Commission: _____

Board Approved Date: _____

Signature of Village Clerk

REZONING EXHIBIT MAP



LEGAL DESCRIPTION

Lands to be Rezoned from B-2 to B-1:

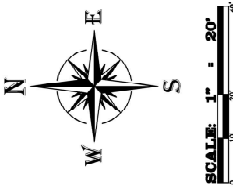
Being Lot 1, Certified Survey Map No. 1284 as recorded in Volume 6 of Certified Survey Maps, page 46 as Document No. 47,235, part of Lot 27 and 29 and all of Lot 28, Original Plat of Pardeeville located in the Southeast Quarter of the Northwest Quarter, Section 3, Town 12 North, Range 10 East, Village of Pardeeville, Columbia County, Wisconsin, described as follows:

Beginning at the Northeast corner of Lot 1, Certified Survey Map No. 1284 and being in the West right-of-way line of Second Street;
 thence South 11°03'05" West along the East line of Lot 1, Certified Survey Map No. 1284, the East line of Lots 27, 28 and 29, Original Plat of Pardeeville and the West right-of-way line of Second Street, 75.36 feet;
 thence South 88°47'48" West, 159.75 feet to a point in the West line of Lot 28, Original Plat of Pardeeville and being in the East right-of-way line of a public alley;
 thence South 85°51'55" West along the centerline of a public alley, 14.55 feet;
 thence South 88°47'48" West, 159.75 feet to the Northeast corner of Lot 1, Certified Survey Map No. 1284;
 thence South 88°47'48" West, 159.75 feet to the Northeast corner of Lot 1, Certified Survey Map No. 1284, the West line of Lot 1, Certified Survey Map No. 1284, and the East right-of-way line of a public alley, 150.38 feet to the point of beginning;
 thence South 88°47'48" West, 159.75 feet to the Northeast corner of Lot 1, Certified Survey Map No. 1284, the West line of Lot 1, Certified Survey Map No. 1284, and being in the East right-of-way line of a public alley, 150.38 feet to the point of beginning;
 containing 30,460 square feet (0.70 acres), more or less.

Lands to be Rezoned from Public Alley to B-1:

Being part of an alley, Original Plat of Pardeeville, located in the Southeast Quarter of the Northwest Quarter, Section 3, Town 12 North, Range 10 East, Village of Pardeeville, Columbia County, Wisconsin, described as follows:

Commencing at the Northeast corner of Lot 1, Certified Survey Map No. 1284 and being in the West right-of-way line of a public alley;
 thence South 11°03'05" West along the East line of Lot 1, Certified Survey Map No. 1284, and the West right-of-way line of a public alley, 11.17 feet to the point of beginning;
 thence South 78°46'51" East, 8.25 feet to a point in the centerline of a public alley;
 thence South 11°04'35" West along the centerline of a public alley, 14.55 feet;
 thence South 88°47'48" West along the West line of Lot 1, Certified Survey Map No. 1284, and being in the East right-of-way line of a public alley;
 thence South 11°04'35" West along the West line of Lot 1, Certified Survey Map No. 1284, the West line of Lot 1, Certified Survey Map No. 1284, and the East right-of-way line of a public alley, 150.38 feet to the point of beginning;
 thence South 11°04'35" West, 159.75 feet to the Northeast corner of Lot 1, Certified Survey Map No. 1284, the West line of Lot 1, Certified Survey Map No. 1284, and the East right-of-way line of a public alley, 150.38 feet to the point of beginning;
 thence South 11°04'35" West, 159.75 feet to the Northeast corner of Lot 1, Certified Survey Map No. 1284, the West line of Lot 1, Certified Survey Map No. 1284, and the East right-of-way line of a public alley, 150.38 feet to the point of beginning;
 thence South 11°04'35" West, 159.75 feet to the Northeast corner of Lot 1, Certified Survey Map No. 1284, the West line of Lot 1, Certified Survey Map No. 1284, and the East right-of-way line of a public alley, 150.38 feet to the point of beginning;
 thence South 11°04'35" West, 159.75 feet to the Northeast corner of Lot 1, Certified Survey Map No. 1284, the West line of Lot 1, Certified Survey Map No. 1284, and the East right-of-way line of a public alley, 150.38 feet to the point of beginning;
 thence South 11°04'35" West, 159.75 feet to the Northeast corner of Lot 1, Certified Survey Map No. 1284, the West line of Lot 1, Certified Survey Map No. 1284, and the East right-of-way line of a public alley, 150.38 feet to the point of beginning;
 containing 4,079 square feet (0.09 acres), more or less.



CLIENT

KWIK TRIP, INC.
 1326 OAK STREET
 LA CROSSE, WI 54602

OWNER

ZRH, LLC
 1326 OAK STREET
 LA CROSSE, WI 54602-2107

SURVEYOR

SCOTT P. HEWITT
 P.O. BOX 373
 625 E. SUIFER STREET
 PORTAGE, WI 53901
 PHONE PORTAGE: (908) 742-7788
 PHONE SAUWAIRAIRE: (608) 644-8877
 FAX: (608) 742-0034
 e-mail: surveying@grothman.com

LEGEND

- 3/4" IRON ROD FND.
- 3/4" IRON PIPE FND.
- AXLE SHAFT FND.
- 1" IRON PIPE FND.

DATE	REVISION	BY

Kwik Trip, Inc.

106 & 108 MAIN STREET &
106 EAST CHESTNUT STREET
PARDEEVILLE, WI.

GA GROTHMAN & ASSOCIATES S.C.
 PROFESSIONAL SERVICES
 106 EAST CHESTNUT STREET
 PARDEEVILLE, WI 54602
 PHONE PORTAGE: (908) 742-7788 FAX: (608) 644-8877
 PHONE SAUWAIRAIRE: (608) 644-8877
 E-MAIL: surveying@grothman.com
 (GPS: 43.023272, 89.523272)

SCALE: 1" = 20'	FILE NO: 720-395
DATE: 1/22/2024	PROJECT NO: 720-395
DWN. BY: T. KASPER	DRAWING NO: 1123-603-rezone
CHKD BY: S. HEWITT	SHEET 1 OF 1



Village of Pardeeville

114 Lake Street
Pardeeville, WI 53954
1-608-429-3121
FAX 1-608-429-3714

ZONING APPLICATION – LOT COMBINATION/DIVISION REQUEST

APPLICANT NAME(s): Trent Kastenschmidt

APPLICANT ADDRESS: 1626 Oak Street, La Crosse, WI 54602

TELEPHONE No. (608) 793-6456 DATE: 4/2/2024

SITE OWNER, IF DIFFERENT FROM APPLICANT(s): Kwik Trip, Inc.

ADDRESS OF SITE OWNER(s): _____

TELEPHONE No. _____

Current Zoning: B-1 & B-2

ADDITIONAL REQUIREMENTS:

1. Certified Survey Map prepared by a registered land surveyor showing all the information as required by Section 58-11 for a Zoning Permit.

DESCRIPTION OF LOTS TO BE COMBINED/SPLIT:

Legal Description: See CSM included with submittal

Address: TBD

List of property addresses within 200 ft. (must be notified of lot combination requests, Village Staff will send notice):
(113, 101, 106, & 109) 2nd Street 104 West Chestnut Street

(116, 206, & 107) East Chestnut Street 102 South Main Street

(112, 114, 115, 116, 117, 109, & 105) North Main Street

I, hereby, certify that the information provided is true and correct.

4/2/2024
Date

Applicant: _____

Applicant: _____

Applicant: _____

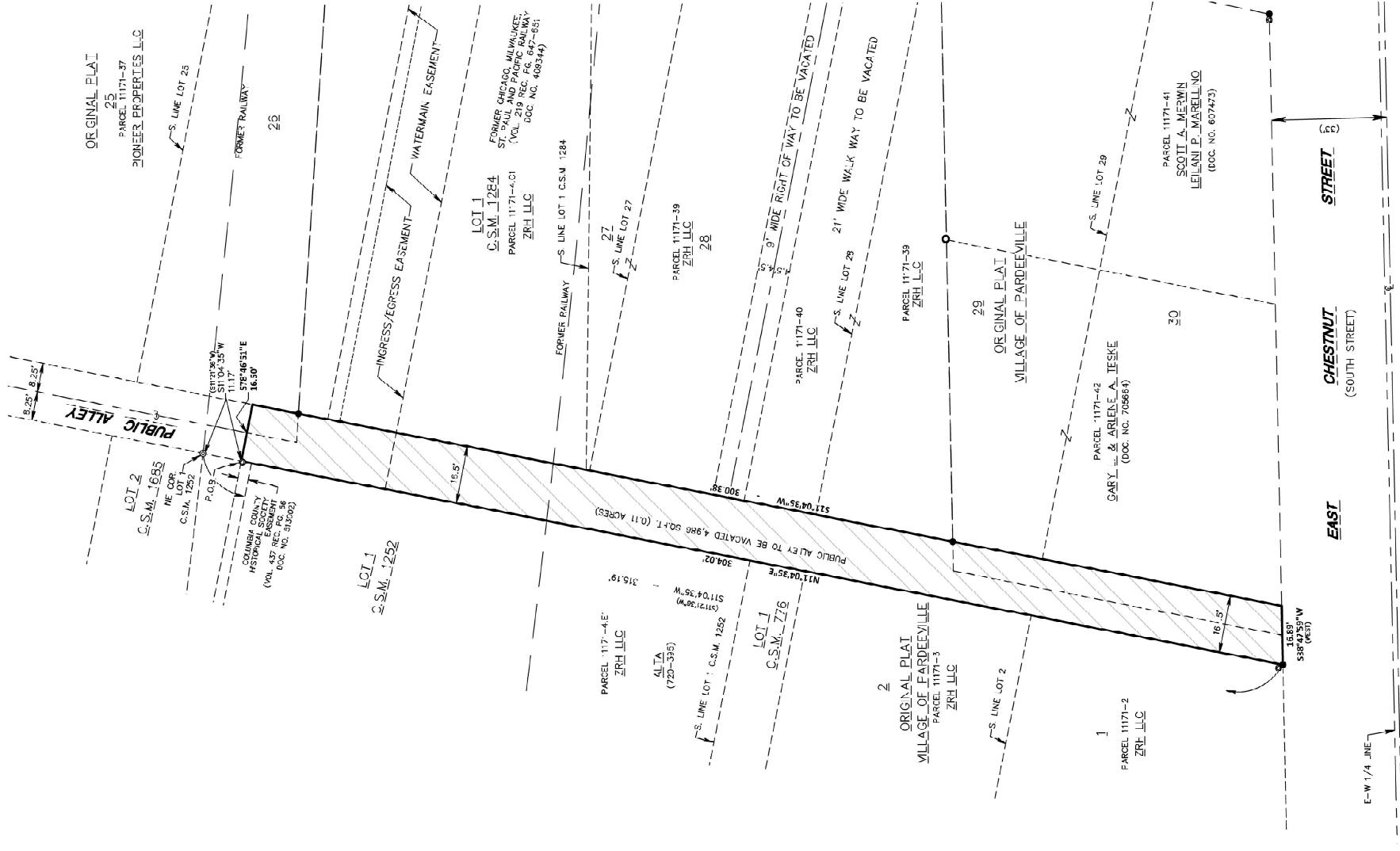
Planning Commission Hearing Date: _____

Village Board Mtg Date: _____

Approved Date: _____

Signature of Village Clerk

EXHIBIT MAP



Alley to be Vacated:

Being part of an alley, Original Plat of Pardeeville, located in the Southeast Quarter of the Northwest Quarter, Section 3, Town 12 North, Range 10 East, Village of Pardeeville, Columbia County, Wisconsin, described as follows:

Commencing at the Northeast corner of Lot 1, Certified Survey Map, No. 252 and being in the West right-of-way line of a public alley;

thence South 11°43'35" West along the East line of Lot 1, Certified Survey Map, No. 1252 and the West right-of-way line of a public alley, 11.17 feet to the point of beginning;

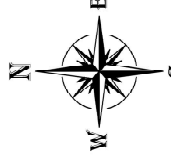
thence South 78°46'51" East, 16.50 feet to a point in the East right-of-way line of a public alley and being in the West line of Lot 2, C.S.M. 1685 and the West line of Lot 27, Certified Survey Map, No. 252 and being in the West right-of-way line of a public alley;

thence South 11°43'35" West along the West line of Lot 1, Certified Survey Map, No. 252 and 300 feet to a point in the North right-of-way line of East Chestnut Street;

thence South 88°47'59" West along the North right-of-way line of East Chestnut Street, 16.89 feet to a point in the West right-of-way line of a public alley and the East line of Lot 1, Original Plat of Pardeeville;

thence North 11°04'33" East along the East line of Lot 1 and 2, Original Plat of Pardeeville; the East line of Lot 1, Certified Survey Map, No. 776; the East line of Lot 1, Certified Survey Map, No. 1252 and the West right-of-way line of a public alley, 304.02 feet to the point of beginning.

Containing 4.860 square feet (0.11 acres), more or less.



CLIENT

KWIK TRIP, INC
1626 DAK STREET
LA CROSSE, WI 54602

OWNER

ZRH LLC
1626 DAK STREET
LA CROSSE, WI 54602-2107

SURVEYOR

SCOTT F. HEWITT
P.O. BOX 373
853 S. CHESTNUT STREET
PARDEEVILLE, WI 53601
PHONE: 608.742.7788
PHONE SAUK PRAIRIE: (608) 644-8877
FAX: (608) 742-0434
e-mail: surveying@cottman.com

LEGEND

- 3/4" IRON ROD FND.
- 3/4" IRON PIPE FND.
- ◊ AXLE SHAFT FND.
- ◉ 1" IRON PIPE FND.

DATE	REVISION	BY

Kwik Trip, Inc.	
106 & 108 MAIN STREET & 106 EAST CHESTNUT STREET PARDEEVILLE, WI.	
SCALE: 1" = 20'	FILE NO: 720-395
DATE: 1/22/2024	PROJECT NO: 720-395
DWN. BY: T. KASPER	DRAWING NO: 1123-603rezone
CHKD BY: S. HEWITT	SHEET 1 OF 1

