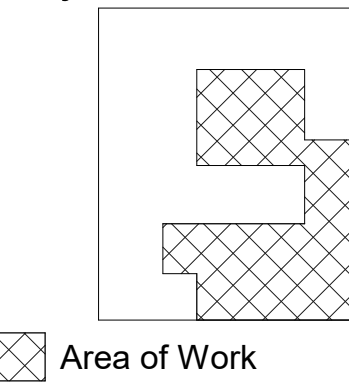


Georgia Diamond Corporation

6105 Blue Stone Road  
Suite E  
Atlanta, GA 30328

Key Plan



Area of Work

No.	Date	Issue	By	Check
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Revisions

No.	Date	Revision	By	Check
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1 Life Safety Plan 1/4" = 1'-0"

Building Design

Multi-Tenant, (4) story mixed-use building, concrete structure with masonry and glass exterior facade.  
Scope of construction includes renovation of 2,488 SF of space within overall 6,984 SF tenant suite.

Occupancy Classification:	Group -B
Construction:	Type IIB
Sprinkler:	Yes
Fire Alarm System:	Yes
Generator:	No
Number of Stories:	1 Story (Area of New Construction)
Gross Floor Area:	6,984 SF (Total Area of Suite)
	1,786 SF (Area of New Construction)

PER 2018 NFPA 101 CHAPTER 7

Project Square Footage:  
Project Use and Classification:

Maximum Occupant Load Calculation (per NFPA 101):  
Doors (3) at 36" (clear) are provided -  $108" / 0.2 = 540$  ppl (3 doors total)  
Maximum Occupant Load = 1000 ppl (maximum for 3 exits)

Business Occupancy:  
Business Occupancy Load:

Total Occupant Load:  
Maximum Occupancy Load:

Exits Capacity:  
Travel Distance:  
Common Path of Travel:  
Dead End Corridor:

Useable Area = 6,984 SF  
Business Occupancy (Sprinkled)

6,984 sf  
1 Person per 100 gsf = 70 Occ.

70 Occupants  
1000 Occupants

3 Exits  
300 feet (w/ Approved Sprinkler System)  
100 feet (w/ Approved Sprinkler System)  
50 feet (w/ Approved Sprinkler System)

	Business Use Occupancy
	Assembly Occupancy
	Storage (Non-Mercantile) Occupancy
	Fire Extinguisher Cabinet - Type ABC

- Life Safety Path of Exit Travel
- Life Safety Dead End
- Life Safety Common Path of Travel
- Exit Signage - See RCPs for Exact Locations/Info
- Exit
- Existing Partition
- New Partition
- Doorway Opening in Partition

Life Safety Plan

IA-0.2

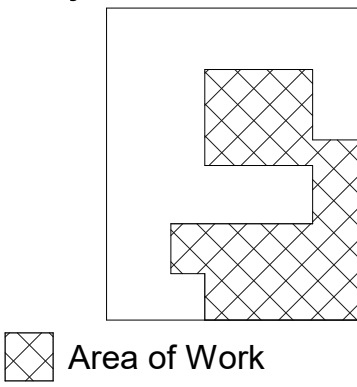




Georgia Diamond Corporation

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Area of Work



General Notes

- Do not scale drawings. Dimensions govern.
- Demolition/Restoration items may not be inclusive. The demolition contractor is to review the requirements of new construction and is to complete all demolition/restoration, cutting, and patching necessary to achieve intended new condition quality.
- Field verify all existing conditions and notify architect of any discrepancies in writing prior to onset of demolition.
- Selective demolition is not indicated in areas where it may be necessary to demolish all or part of existing building component to gain access to areas for tie-in to building systems, or which may be required to install new construction indicated on the drawing. Demolition for these purpose shall be done at no additional cost to owner, and these areas shall be returned to their original condition prior to beginning construction.
- Demolition work shall be executed in conformance with local building code.
- Exercise extreme caution in this demolition. Cost of repair to any adjacent conditions which are damaged as a result of this demolition shall be the responsibility of the contractor.
- All materials to be disposed of are to be disposed of by the contractor off the project site in accordance with local restrictions unless noted otherwise herein.
- Remove, salvage and store all existing doors, frames and sidelites for reuse, unless noted otherwise.
- Remove all existing plumbing fixtures and accessories. Cap drain lines.
- Remove, salvage and store all existing ceiling grid, tile and light fixtures for reuse.
- Remove all existing gypsum board ceiling.
- Remove all existing floor finishes and substrate. In areas where demolition cause unevenness in the floor slab, perform the necessary work required to provide a smooth slab prepared to receive new finishes.
- All areas shall be kept in a broom clean condition at all times.
- Patch and repair all areas where a demolished wall intersect a remaining wall. Either finish existing wall to match adjacent surfaces or prepare wall to receive new finishes.
- Protect all structural members from damage.
- During demolition, brace all existing structures as needed.
- Do not cut structural work in a manner resulting in a reduction of load carrying capacity or load/deflect ration. Notify Architect of all structural cuts prior to execution to obtain approval.
- Provide add alternate pricing for cable abatement by cable vendor. All accessible abandoned cable that is not terminated and labeled on both ends must be removed to meet NFPA and NEC 2002 code requirements. Contractor shall coordinate removal of any cable with building owner before any cable removal actually begins.

Key Notes

- Retain casework, countertop, and sink for relocation.
- Retain door for re-use in same location (flip door swing).
- Retain door for re-location/re-use in new suite.
- Workstation components to be retained for re-location and re-use.
- Demo existing toilet and pedestal sink.
- Demo existing fireplace.

Symbols and Legend

Symbol	Description
	Building Core
	Not in Scope
	Existing Partition to Remain
	Existing to be Demolished
	Temporary 1-hour separation

Legend

Type	Section	Description
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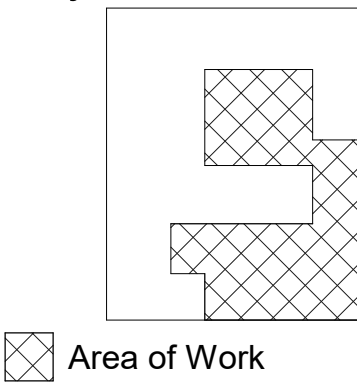
Demolition Plan



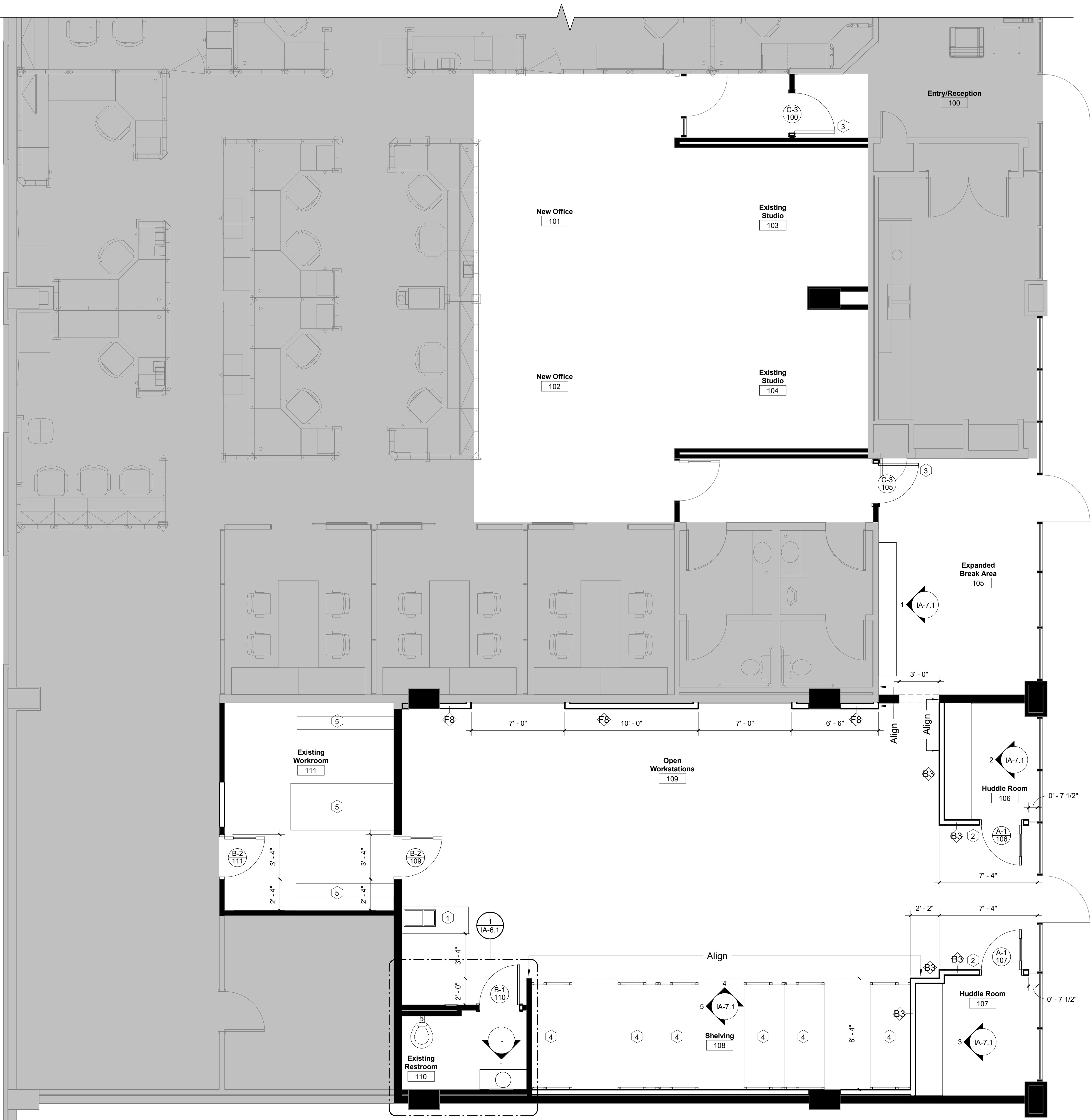
Georgia Diamond Corporation

6105 Blue Stone Road  
Suite E  
Atlanta, GA 30328

Key Plan



Area of Work



General Notes

- Partitions dimensioned to finish face U.O.N. Do not adjust dimensions indicated as "Clear" without written direction from Architect. Drawings shall not be scaled- dimensions govern. Verify all dimensions and existing as built field conditions, including field measurements prior to start of work, notify Architect where discrepancies occur in writing. All dimensions shown on the drawings shall be considered critical. It shall be the responsibility of the contractor to notify the architect of any deviation in the placement of partition prior to the erection of the stud walls.
- Dimensions taken from perimeter exterior window wall are taken from the inside face of the vertical mullion. Dimensions marked verify in field, shall be verified prior to start of work unless otherwise noted.
- All new interior partitions to be typed "A" U.O.N.
- Use Type "X" gypsum on fire rated partitions.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Where existing rated assemblies are shown, contractor is requested to field verify as built field conditions to confirm ratings shown. If non-compliant conditions are found, demo and replace with new equivalent UL Assembly, or report findings to Owner/Architect in writing who will provide written direction.
- Patch floor and wall areas damaged due to new construction or where penetrations have been made for Mechanical, Electrical and Plumbing work. Firesafe at UL Rated Assemblies consistent with existing UL Rating.
- Use cementitious backer board (Durock) or equal at partitions scheduled to receive ceramic tile (U.O.N.). See Finish Plan for location of tile.
- Provide Level 4 Finish U.O.N. Provide Level 5 Finish at all partitions to receive wall covering, writable wall Paint, or graphics. Refer to Finish Plans for locations and additional information.
- Provide fire treated blocking as required at locations including, but not limited to: grab bars, shelving, overhead cabinets, signage, toilet room accessories, wall mount equipment, TV mounting brackets, etc.
- Walls to be located at center line of window mullion U.O.N.
- New gypsum board construction meeting existing gypsum board construction in the same plane shall be flush with no visible joints showing. Remove existing metal corner bead(s) and other trim as required to receive new construction.
- Patch and repair all existing partitions after demolition where damage has occurred at unprotected locations. Please note that demolition activity may occur beyond work limits shown on demolition plan due to concealed conditions.
- All exposed outside gypsum board corners shall have a continuous metal corner bead.
- Use water resistant panels at all break areas and locations noted for water service.
- Furr out all core walls/columns only where power or voice/data j-boxes are required.
- Contractor to chalk lines for all systems furniture locations at the time of wall layout. Refer to furniture plans for location. Coordinate pendant light fixture placement over workstations with architect and furniture vendor as required.
- Contractor to coordinate ceiling grid with location of walls prior to installation.
- Contractor shall coordinate work with HVAC, Mechanical, Electrical, Plumbing, Design Build Fire Protection and Structural drawings and report to the Architect discrepancies for correction and adjustment prior to start of work. No allowance will be made for increased cost due to the Contractor's lack of coordination.

Key Notes

- Relocated existing casework, countertop, sink.
- Relocated aluminum/glass door.
- Flip door swing direction of existing door.
- Steel shelving unit (96"W x 144"H x 36"D)  
<https://www.globalindustrial.com/p/bulk-rack-starter-w-steel-decking-96-w-x-36-d-x-144-h?ref=>
- Existing workroom millwork items to remain in place.
- Teknon partitions in scope of furniture vendor.

Symbols and Legend

Symbol	Description
	Building Core
	Not in Scope
	Existing Partition To Remain
	New Partition See Partition Types
	Special Partition See Partition Types
	Ceiling / Soffit Element Above
	Room Identification
	Partition Types See IA-8.1 for details.
	Key Note
	North Arrow
	Centerline

Symbols and Legend

Symbol	Description
	Door Tag
	Section Marker
	Elevation Marker
	Column Identification and Centerline

Partition Types

Type	UL#	Fire Rating	Description	SSMA#	Stud Spacing (In.)	STC	Thickness	Comments
	<varies>	<varies>	<varies>	<varies>	<varies>	<varies>	<varies>	
B3	NR	NR	Non-Rated 3-5/8" Metal Studs, Full Height [Slab To Slab] With One Layer 5/8" Gyp Bd Each Side.	362S125-33	16	40	0' - 4 7/8"	
F8	NR	NR	3-5/8" metal studs One Layer 5/8" Gypsum Board Outside. 1/2" Air Space Between Stud And Wall.	362S125-33	16	NA	0' - 4 3/4"	

Partition Plan

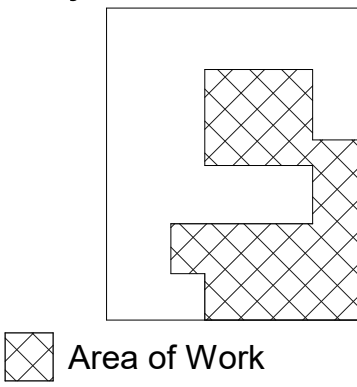
IA-2.1



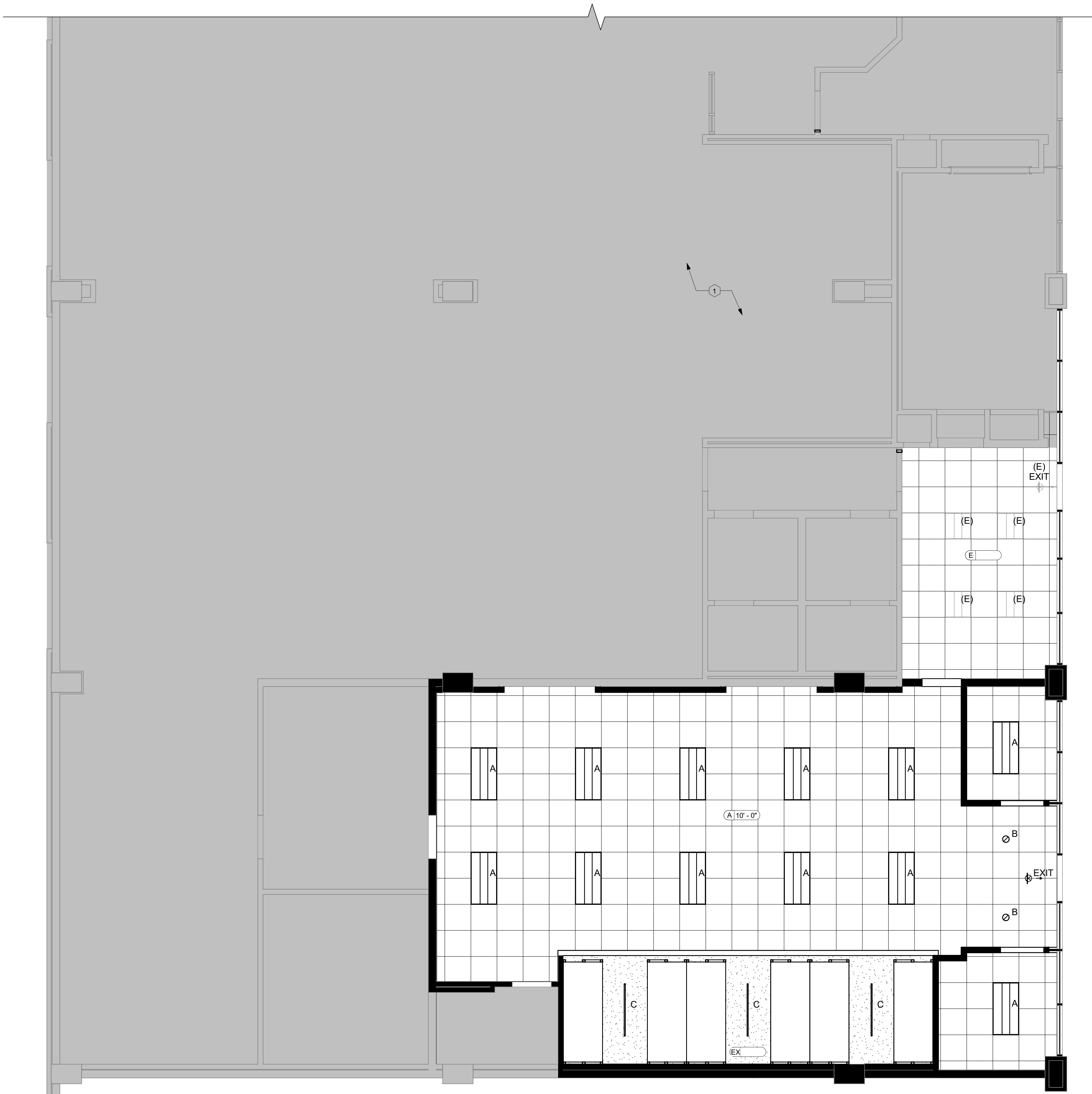
Georgia Diamond Corporation

6105 Blue Stone Road  
Suite E  
Atlanta, GA 30328

Key Plan



Area of Work



1. Reflected Ceiling Plan

General Notes

- Do not scale drawing. Dimensions govern.
- All ceiling heights to be 9'-0" A.F.F., new ceiling to match existing, unless noted otherwise.
- All switches shall be mounted 4'-0" A.F.F., to centerline of switch unless noted otherwise.
- All switch cover plates shall be white & shall be mounted straight and aligned.
- Where multiple switches occur (switches, dimmers or both) gang groups of switches in the same box with one common cover plate.
- Down lights, fire alarm signal devices, exit signs, etc. to be located in center of ceiling tile unless noted otherwise.
- Contractor to review locations of all fire alarm signal devices and thermostats with architect prior to installation. These devices should be coordinated and aligned with other devices in the same plane.
- Contractor to maintain plastic covers over fluorescent fixtures during construction to avoid accumulation of dirt and finger prints on specular lens cover.
- Refer to engineer's drawings for fixtures tied to building emergency power systems.
- In the event of conflict between M.E.P. and Architectural drawings, notify architect before proceeding.
- Verify lighting layouts with plenum limitation prior to installations.
- Provide all electrical drawings required to secure building permit.
- Existing ceiling grid and remain, new ceiling grid to match existing. Replace all damaged wall angle tees, including but not limited to the holes in tees where walls have been demolished or relocated, unless noted otherwise.
- Sprinklers: Building standard sprinkler heads, for normal use, in a standard distribution pattern installed per building codes spaced to give coverage of 225 usable square feet per head. Relocate sprinklers as required to accommodate local code and light fixture placement. Provide concealed sprinkler heads at drywall ceilings or soffits.
- General Contractor is responsible for ensuring that all lamps are functional at the end of the job.
- All new fluorescent lamps are to be 3000 Kelvin and provided by the same manufacturer.

Key Notes

- 1 Patch/replace ceiling as needed at wall demo area.

Symbols and Legend

Symbol	Description
Ceiling Type	
	A 2' x 2' lay-in acoustical ceiling tile and grid (match existing adjacent).
Ceiling Height	
	E Existing 2' x 2' ceiling to remain in place.
	EX Exposed to structure.
Symbol	
	A 2' x 4' Indirect fluorescent
	B 4" Incandescent downlight
	C 4'-0" Ceiling-suspended fluorescent
	(E) Re-lamp Existing 2' x 2' Indirect fluorescent
	EXIT Exit sign - Ceiling mounted
	(E)EXIT Existing Exit Sign to Remain

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Revisions				
No.	Date	Revision	By	Check

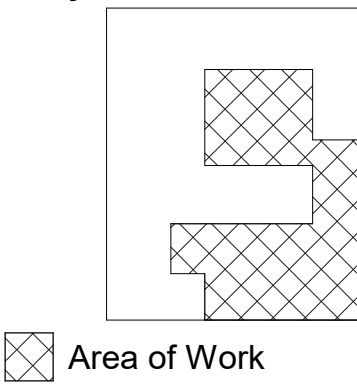
RCP



Georgia Diamond Corporation

6105 Blue Stone Road  
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Atlanta, GA 30328

Key Plan



Area of Work



1. Power and Communication Plan

General Notes

- Do not scale drawings. Dimensions govern.
- All receptacles, junction boxes and voice/data receptacles shall be mounted 18" A.F.F. to centerline of receptacle unless noted otherwise.
- All switches, keypads and wall phones shall be mounted 48" A.F.F. to centerline of device unless noted otherwise.
- All voice, data, and electrical cover plates shall be white in color and shall be mounted straight and aligned.
- All dimensions to devices are A.F.F. and to centerline or outlets and outlet groupings.
- Stagger electrical boxes 6" O.C. at back conditions and separate with a stud within wall.
- Group adjacent electrical devices in one box under common plate.
- All devices above countertops shall be mounted horizontally.
- Coordinate alignment of all devices such as outlets, fire alarm strobes, thermostats, etc. Review alignments with Architect prior to rough-in.
- Locations of floor and wall mounted power, voice/data feeds for systems furniture to be coordinated and verified by the contractor, architect and furniture vendor prior to floor coring or device installation.
- In the event of conflict between M.E.P. and architectural drawings, notify architect prior to proceeding.
- Verify outlet requirements for electrical appliances and equipment: Refrigerators, Vending Machines and copiers.
- Furniture and equipment shown is not in contract and will be provided and installed by owner. Dimensions shown reflect minimum requirements for code compliance only, based on this furniture configuration. Revisions to this should be revised for code compliance.
- Per NFPA 90A 4-3.10.2 Plenum rated cable required in return air plenum. Refer to engineering drawings.
- Any coring work must be scheduled 24 hours in advance with Engineer/Property Management. The General Contractor and/or other sub-contractors must demonstrate to Engineer/Property Management that they have carried out X-Raying or sonar investigation in order to ensure that no damage can occur to items in the slab. The General Contractor is responsible for any cost associated with the investigation and should include the cost in their bids. Coring should not be carried out through beams or joists.
- All power to support A/V equipment must be on same electrical phase in order to eliminate hum bars on project devices.
- Coordinate power requirements and mounting heights/placement with Owner's Vendor.

Key Notes

- Power outlet for toilet attachment.
- Relocated existing shredder. Power requirements for shredder: 115 volts; 60 cycle; 13.2 amps; Phase 1.
- Relocated existing copier. Power/data supplied from wall via adjacent workstation panels.
- Quad outlet at countertop height adjacent to relocated casework, countertop, sink.
- Additional power + data supply at this location for copier.
- Power + data supply to mag-lock door with card reader.

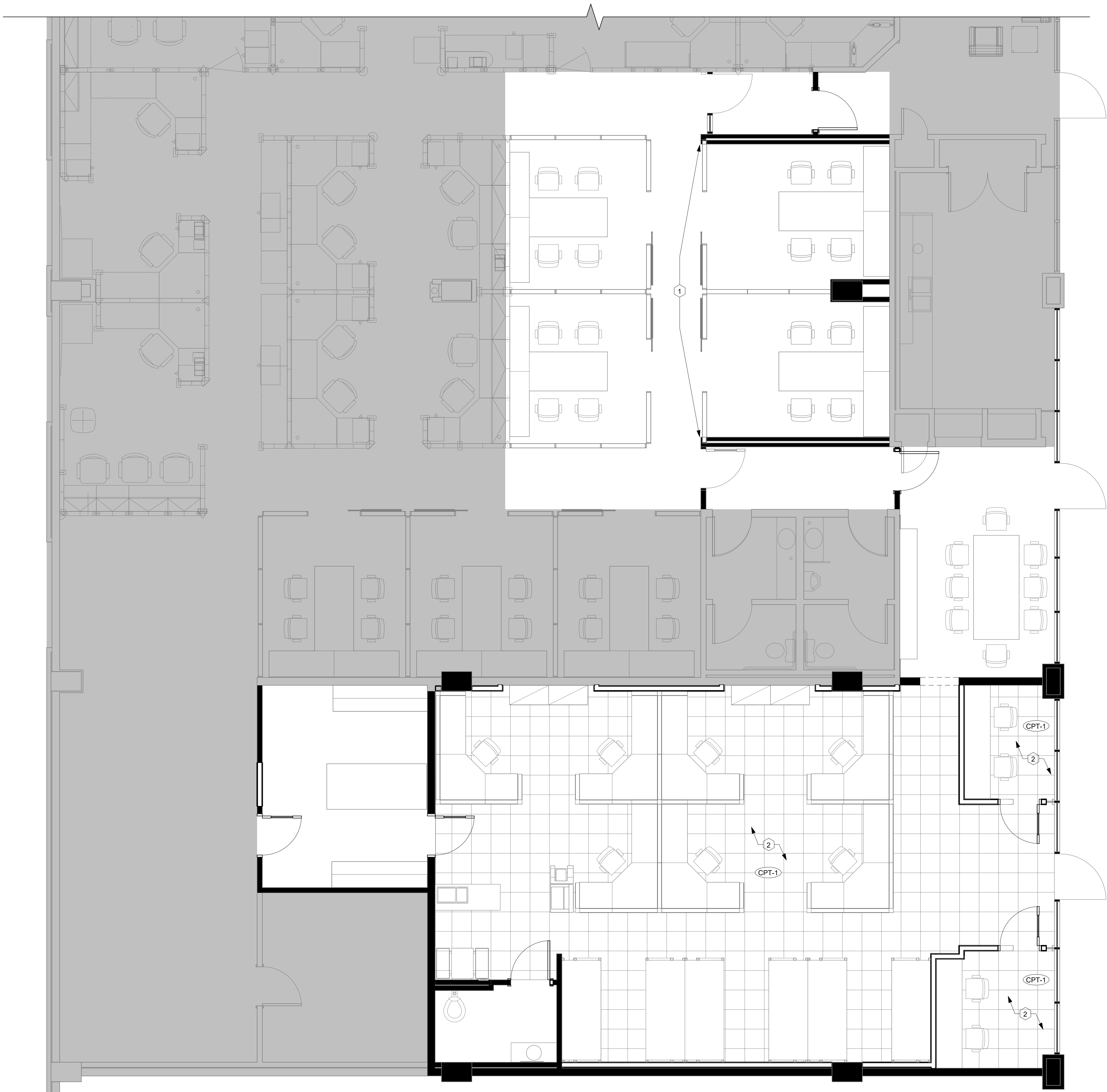
Symbols and Legend

Symbol	Description
E	Existing to remain
(2)	Number of receptacles
Floor Mounted	Ceiling Mounted
Ⓛ	Single power receptacle
ⓁⓁ	Duplex power receptacle
ⓁⓁⓁ	Quadruplex power receptacle
ⓁⓁⓁⓁ	Dedicated duplex receptacle
ⓁⓁⓁⓁⓁ	Ground fault interrupt receptacle
ⓁⓁⓁⓁⓁ	Combination voice data receptacle
ⓁⓁⓁⓁⓁ	Junction box / Floor core
ⓁⓁⓁⓁⓁ	Card reader
ⓁⓁⓁⓁⓁ	TV / HDMI

P & C Plan



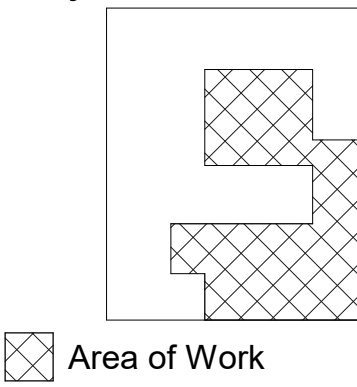




Georgia Diamond Corporation

6105 Blue Stone Road  
Suite E  
Atlanta, GA 30328

Key Plan



1. Finish Plan

General Notes

- Do not scale drawings. Dimensions govern.
  - All finishes to be installed in accordance with the manufacturers specifications and contract documents.
  - All interior finishes shall be a minimum of class "C" fire rated finish.
  - Contractor to provide client with all maintenance instructions for all finish materials provided by sub-contractor.
  - All interior partitions shall receive one coat primer and two coats commercial grade eggshell latex paint unless noted otherwise.
  - All recessed fire extinguisher cabinets shall be painted the color of the wall on which they occur.
  - All wall finishes shall be PT-1 unless noted otherwise.
  - All interior doors and door frames shall be PT-2 with semi-gloss finish unless noted otherwise.
  - All flooring shall be CPT-1 unless noted otherwise.
  - All rubber base shall be RB-1 and shall be 4" with finished edge where carpet is provided and cove base where VCT is provided unless noted otherwise.
  - Provide transition strip between carpet and hard surface.
  - Flooring installer to provide Installation Diagram for placement of hard surface flooring and carpet. Refer to drawings for intent of placement of tiles and patterns.
- Note: All final finished surfaces or furniture in fire rated lobby or egress areas are to have a minimum flame spread and smoke development rating of class "a" or "b" and a minimum radiant flux value of class 1 or 2. flame and smoke rating can be reduced to class "c" or class "b" where class "b" or class "a" is required and radiant flux value can be reduced to class 1 or none if the building has a sprinkler system. All final finish selections are to be reviewed by the Architect for compliance with this requirement. this requirements are set forth in n.f.p.a. 101.10.2, 10.2.8, 38.3.3 (new construction) and 39-3.3 (existing construction) and 101-3.3.120, 10.2 interior finish chapter of the 2003 or most current edition of the n.f.p.a 101 Life Safety Handbook.

Key Notes

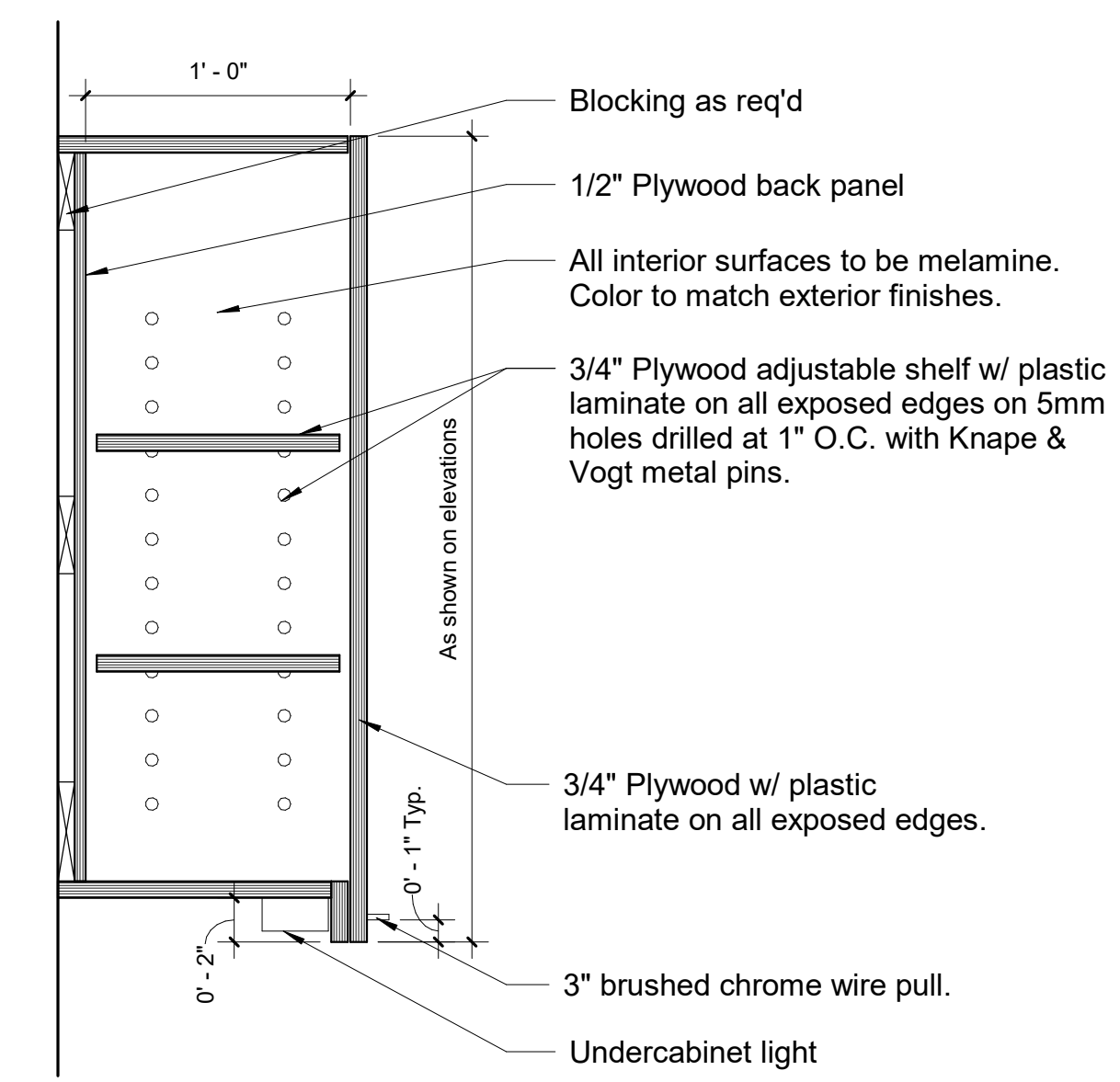
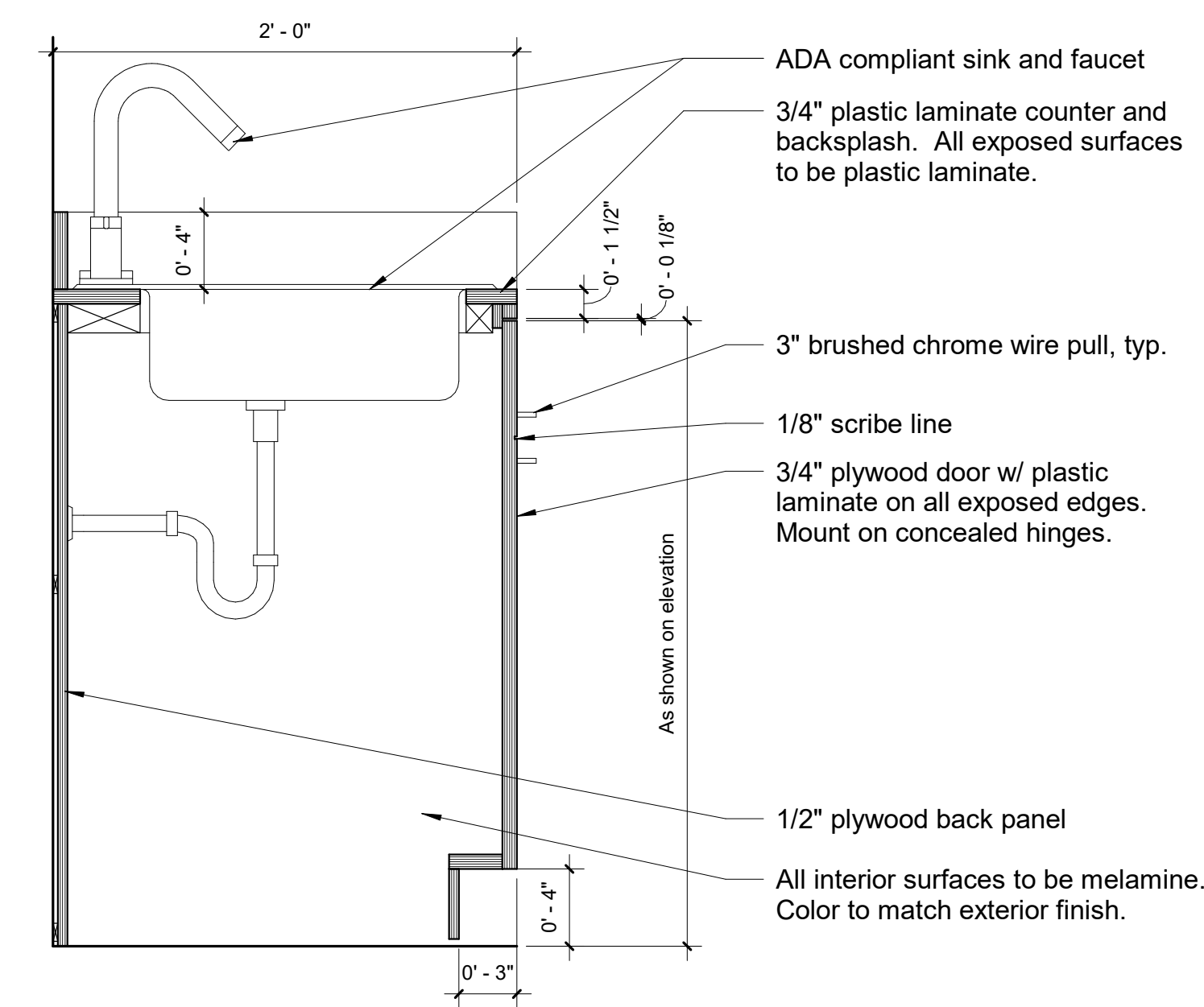
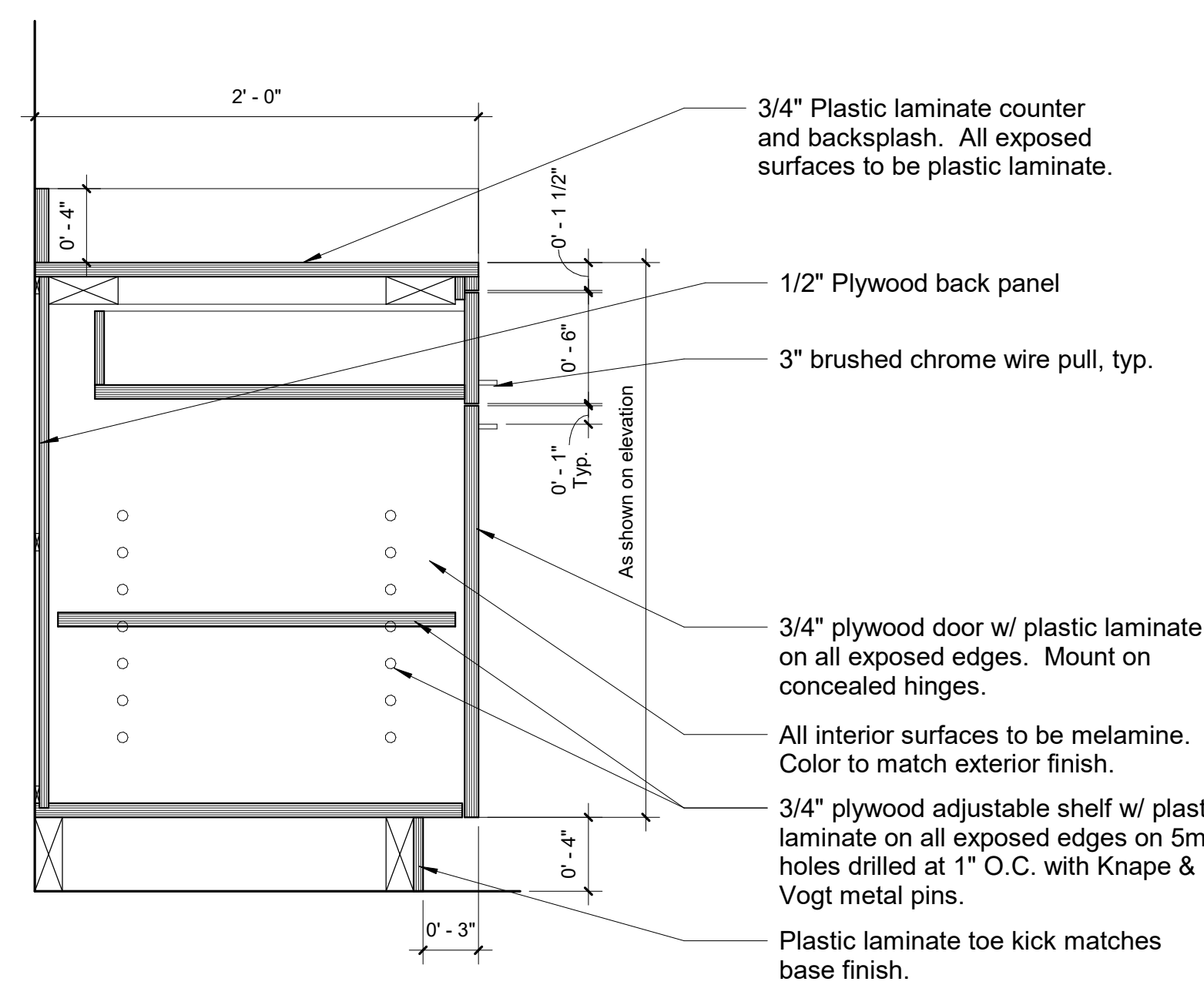
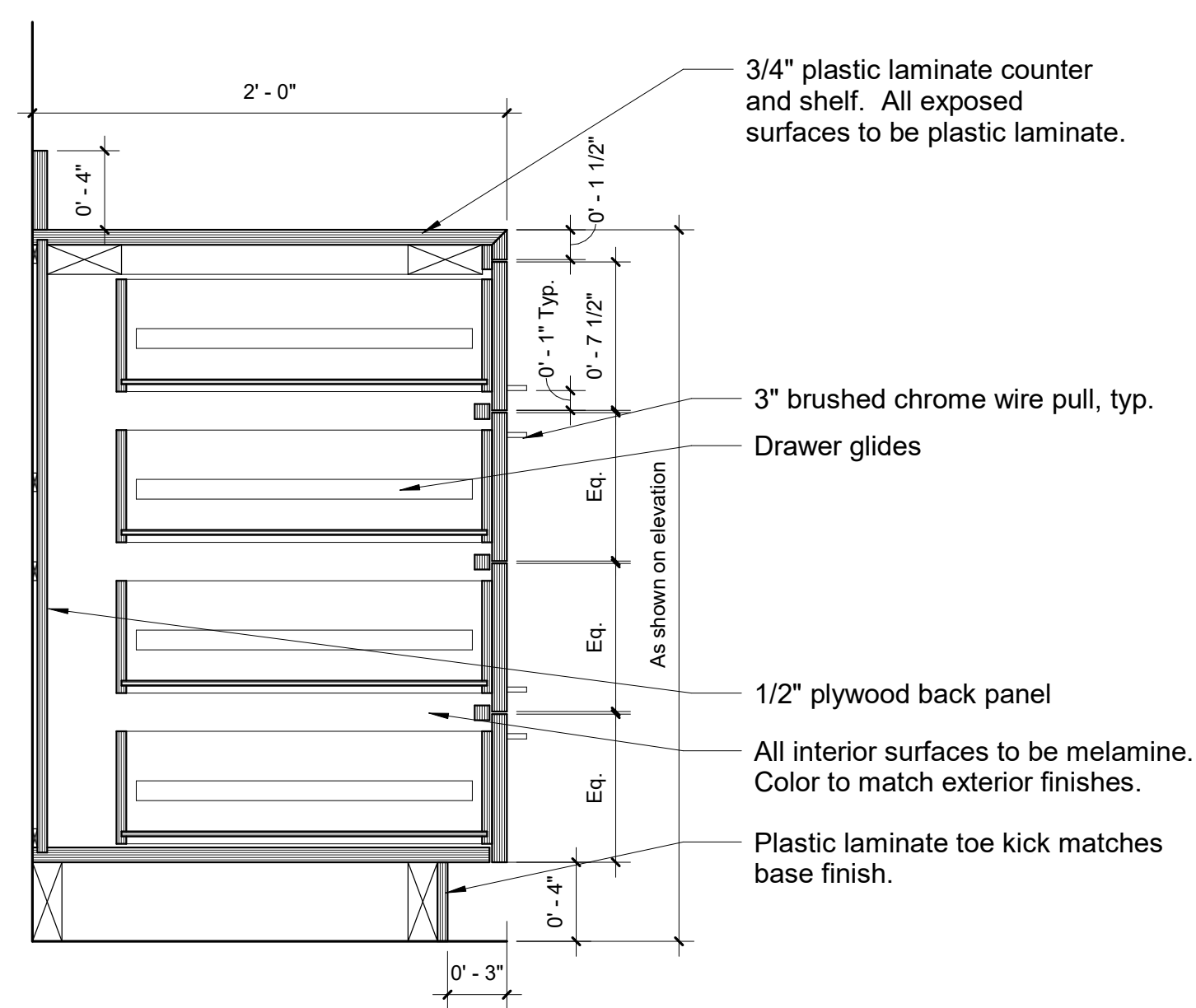
- Patch/repair carpet tiles as needed at wall demo area. Carpet tiles provided by owner.
- Install new carpet tiles provided by owner.

Symbols and Legend

Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description
	Floor Material Transition		Finish Tags		Carpet		Terrazzo				
	Carpet Seam		WD-1		MFTR: Style: Color: Install:		MFTR: Style: Color: Install:				
	Direction of Pattern				MFTR: Style: Color: Install:		MFTR: Style: Color: Install:				
	Wall Covering		Modular Walls				Rubber Flooring				
	MFTR: Style: Color: Install:		MFTR: Style: Color: Install:				MFTR: Style: Color: Install:				
	Walltalker		White Board		MFTR: Style: Color: Install:		Epoxy Flooring				
	MFTR: Style: Color: Install:		MFTR: Style: Color: Install:		MFTR: Style: Color: Install:		Walk-Off Mat				
	MFTR: Color: Finish: Install:		MFTR: Color: Finish: Semi-gloss Install:		MFTR: Style: Color: Install:		MFTR: Style: Color: Install:				
	MFTR: Color: Finish: Install:										

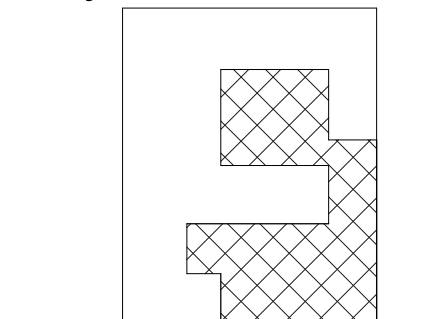
Finish Plan




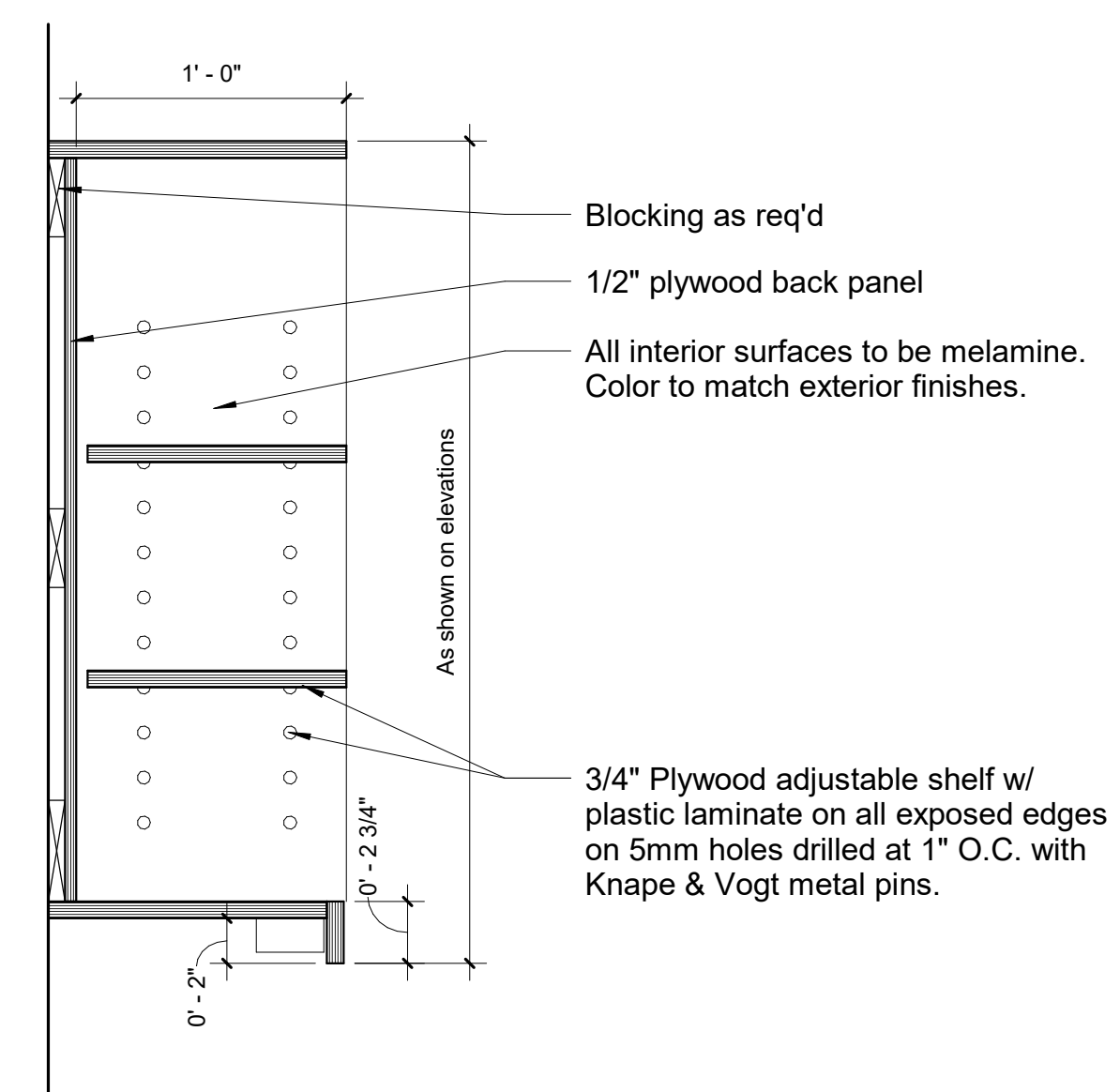
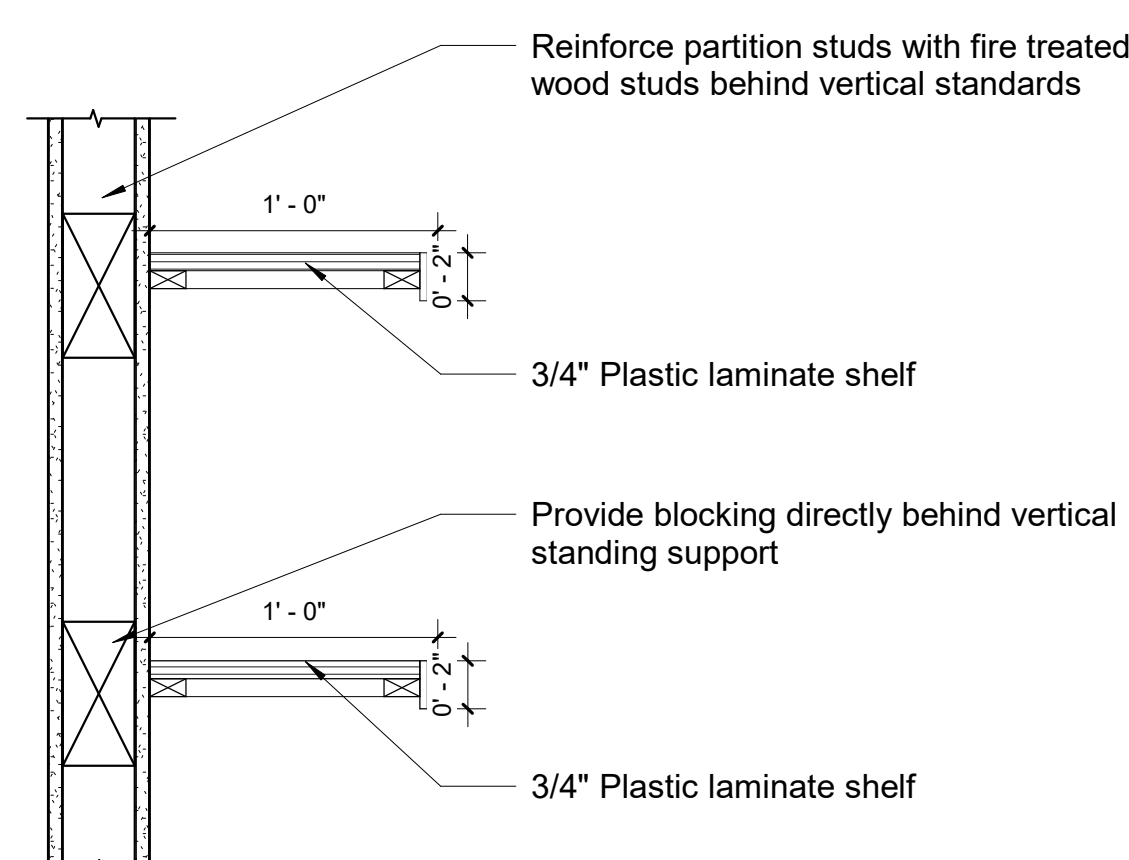
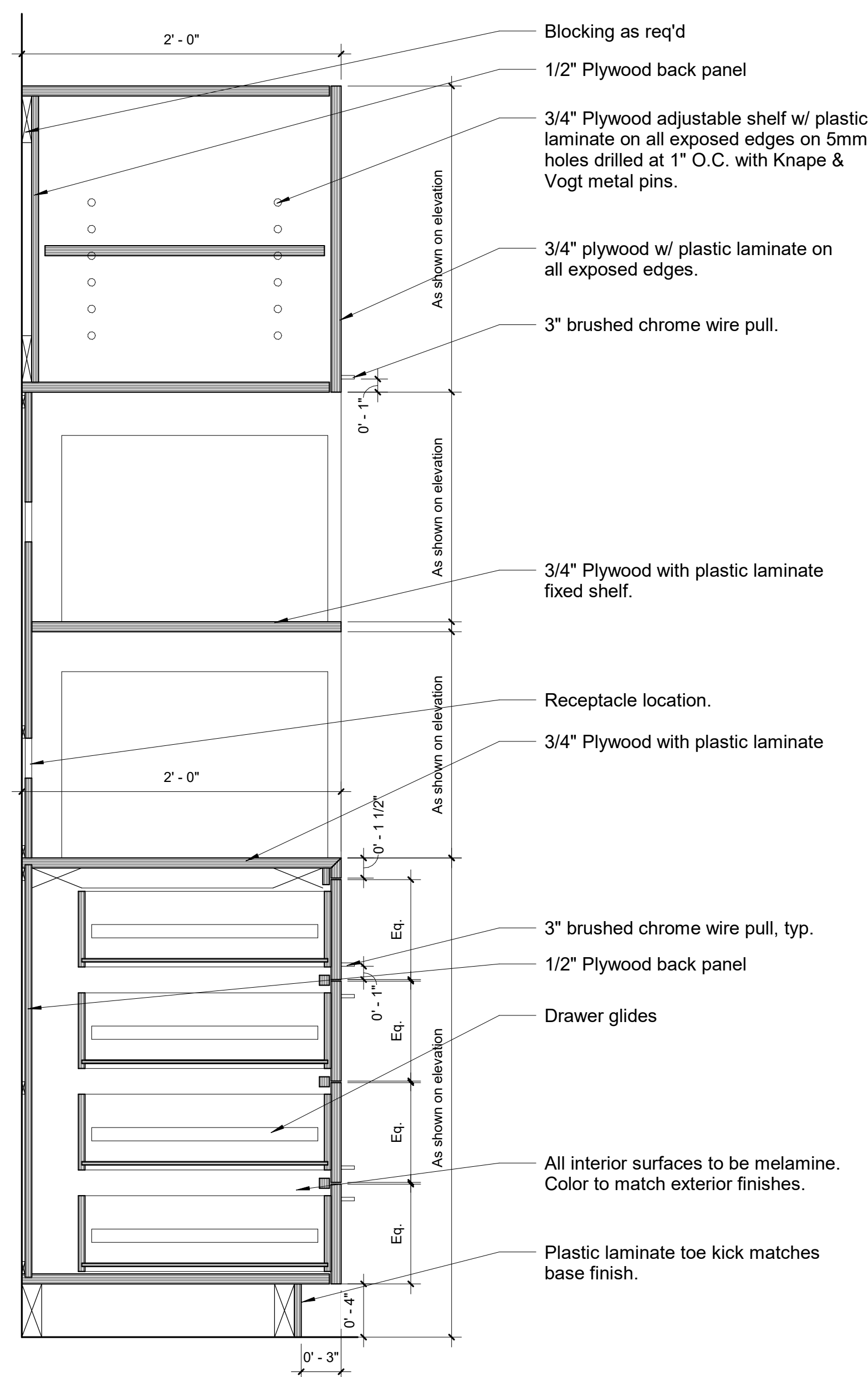
Georgia Diamond  
Corporation

6105 Blue Stone Road  
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## Key Plan



 Area of Work



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Revisions				
No.	Date	Revision	By	Check

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### Details Model

