

**VILLAGE OF PARDEEVILLE
PLAN COMMISSION AGENDA
Village Hall – 114 Lake Street, Pardeeville
Tuesday, August 8, 2023 at 6:00 PM**

- I. Call to Order
- II. Roll Call
- III. Agenda Approval
- IV. Minutes Approval
- V. PUBLIC HEARING:
 - A. Open Public Hearing
 - 1. Public Hearing – To consider request for rezone from M-1 to B-2 for Mr. Schaper, owner of parcel #11171-301.A3. This parcel contains 0.82 acres
 - 2. Close Public Hearing
- VI. NEW BUSINESS:
 - A. Public Hearing – to consider request for rezone for parcel #11171-301.A3
 - B. Family Dollar/Dollar Tree – Site Plan Review
- VII. ADJOURN

Kayla Lindert, Clerk/Treasurer
Posted: 08/02/2023

The Village Hall is accessible to the handicapped. If you require additional assistance, please contact the Village Office no later than 48 hours prior to the meeting date. Phone 608-429-3121. If members are present from other recognized Boards, Commissions, or Committees which may constitute a quorum, the meeting is presumed to be for the above-stated agenda/purpose. An updated agenda may be posted 24 hours before meeting time.

**VILLAGE OF PARDEEVILLE
PLAN COMMISSION MINUTES
Village Hall – 114 Lake Street, Pardeeville
Tuesday, June 6, 2023 at 5:15 PM – 5:45 PM**

Call to Order – Haynes called the meeting to order at 5:17 PM

Roll Call – All members present except for Carabella and Griepentrog. Also present is Administrator/DPW Salmon, Clerk/Treasurer Lindert, and Trustee Taylor. Griepentrog joined the meeting at 5:21 PM.

Agenda Approval – Motion to approve Pease/Woxland. Motion carries unanimously.

Minutes Approval – Motion to approve minutes as presented Woxland/Killoran. Abrath abstain. Motion carries.

NEW BUSINESS:

107 Gillette St. – Gillette Heart CBRF

- Haynes opened up reason for agenda item. Woxland further described 107 Gillette St. and history on property.

-Some questions came up and owner is not joining virtually

-Discussion on building plans included in packet. Discussion on rooms and number of beds in room

-Motion to approve building plans at 107 Gillette St. as presented tonight Griepentrog/Abrath. Motion carries unanimously.

ADJOURN – Haynes adjourned meeting at 5:28 PM

Kayla Lindert, Clerk/Treasurer
Approved:



Village of Pardeeville

114 Lake Street
Pardeeville, WI 53954

1-608/429-3121
FAX 1-608/429-3714

REZONE APPLICATION

APPLICATION FEE \$150.00

(If this application is denied the Village retains \$100 and refunds \$50)

APPLICANT NAME(s): M&R OIL C/O RICHARD "MURPH" SCHAPER *Richard Schaper*

APPLICANT ADDRESS: W 4396 CTH E, PARDEEVILLE, WI 53954

TELEPHONE No. 608-617-4612 DATE: 7-27-23

SITE OWNER, IF DIFFERENT FROM APPLICANT(s): SAME

ADDRESS OF SITE OWNER(s): _____

TELEPHONE No. _____

CONTRACTOR, IF APPLICABLE: N/A

CONTRACTOR, ADDRESS: _____

TELEPHONE No. _____ INSURANCE COMPANY: _____

ADDITIONAL REQUIREMENTS:

Set of plans are required under the following conditions:

- 1.) New building.
- 2.) Remodelling or enlarging of existing rooms, changing of entry or exits, etc.
- 3.) Use will become public versus private, i.e. Bed & Breakfasts, meeting halls, etc.
- 4.) Use to become commercial versus private.

Plat of Survey prepared by a registered land surveyor showing all the information as required by Section 58-11 for a Zoning Permit may be required by the Planning Commission and in addition the following:

- 1.) Mean and Historic high water lines on or within 40 feet of the subject premises.
- 2.) Existing or proposed landscaping.

Please provide the names of your architect or professional engineer or both if applicable:

ARCHITECT: N/A Telephone No. _____

ENGINEER: N/A Telephone No. _____

SURVEYOR: SCOTT P. HEWITT Telephone No. 608-742-7788

DESCRIPTION OF SUBJECT SITE:

Legal Description: PARCEL NO. 11171-301.A3, FORMERLY KNOWN AS
LOT 3, CSM 1077. CONTAINING 0.82 ACRES

Address: 513 S. MAIN ST.

Current Zoning: M-1

Current Use: B-2

Business Type, If Applicable: _____ Number of Employees: _____

Requested Zoning: B-2

Proposed Use (make sure it meets ordinance uses):

SMALLER ENGINE REPAIR; TOTAL LOT AREA = 0.82 AC.

Residential:

Total # of dwelling units proposed: _____ Number of Parking Stalls off-street: _____

Commercial:

Type of Business: _____ Hours of operation: _____

Sketch of Site: (To include lot size, building placement, parking, loading, highway access points before proposed change)

SEE ATTACHED DRAFT CSM





DocId:8027760

Tx:4025026

DOC # 958181

**REGISTER OF DEEDS
COLUMBIA COUNTY**

RECORDED ON:

07/12/2022 01:54:13 PM

PAGES: 2

LISA KRINTZ

REGISTER OF DEEDS

REC FEE: 30.00

As prepared by:

**GROTHMAN
& ASSOCIATES S.C.**
PROFESSIONAL SERVICES

825 EAST SUFER STREET, P.O. BOX 373 PORTAGE, WI. 53001
PHONE: PORTAGE: (808) 742-7788 SALK: (808) 844-8677
FAX: (808) 742-0434 E-MAIL: surveying@grothman.com
(RED LOGO REPRESENTS THE ORIGINAL MAP)

G & A FILE NO. 522-210

DRAFTED BY: L. DEBOER

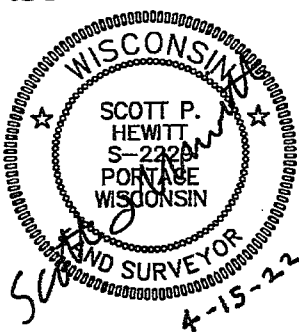
CHECKED BY: SPH

PROJ. 221-127

DWG. 522-210

SHEET 1 OF 2

SFAI :



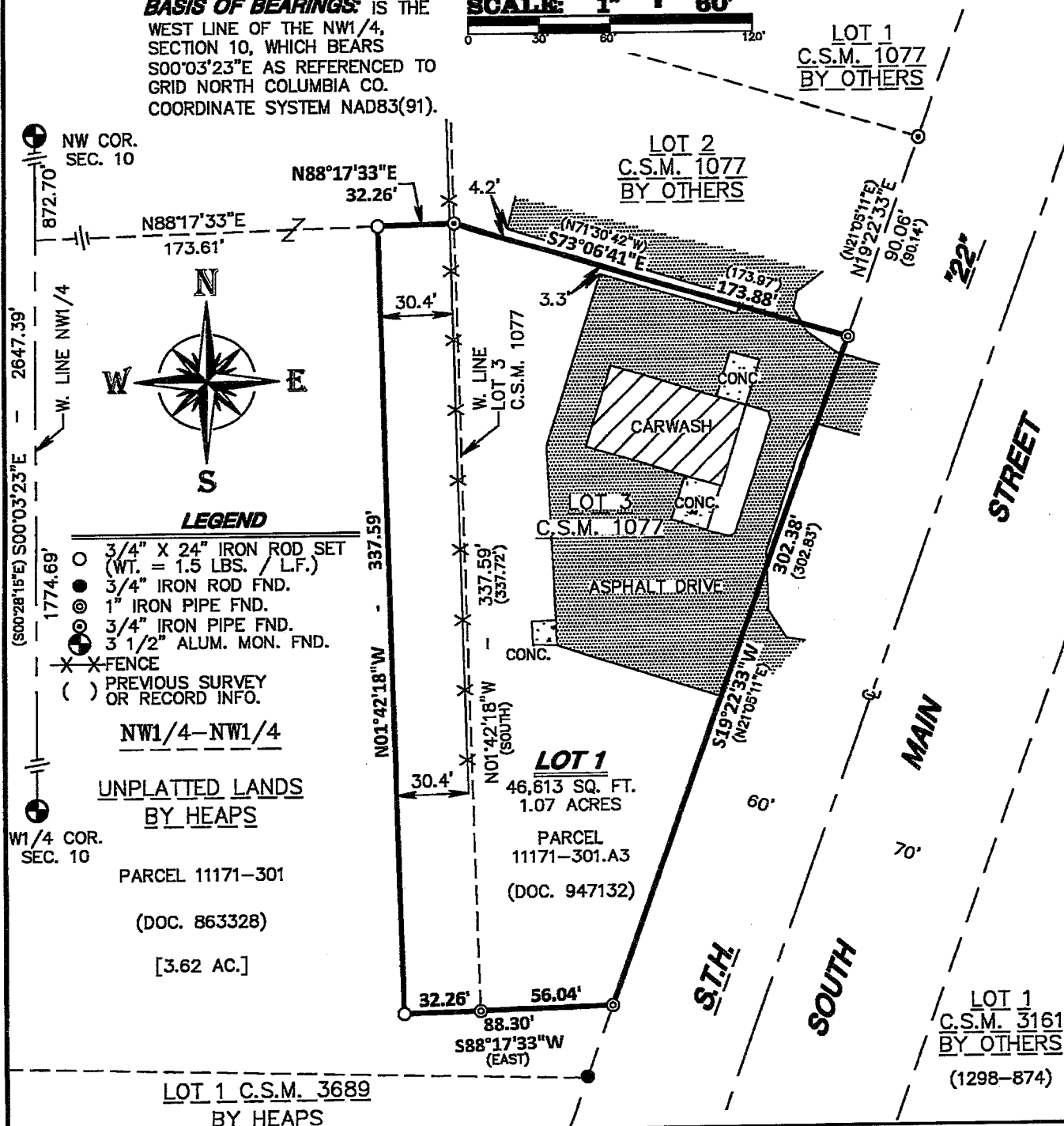
COLUMBIA COUNTY CERTIFIED SURVEY MAP NO. 6560
GENERAL LOCATION Volume 49, Page

Volume 49 Page 20

BEING LOT 3, C.S.M. NO. 1077, AS RECORDED IN VOL. 5 OF C.S.M.S, PAGE 69 AS DOCUMENT NO. 458429, AND PART OF THE NW1/4 OF THE NW1/4, ALL IN SECTION 10, T. 12 N, R. 10 E, VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN.

BASIS OF BEARINGS: IS THE WEST LINE OF THE NW1/4, SECTION 10, WHICH BEARS S00°03'23"E AS REFERENCED TO GRID NORTH COLUMBIA CO. COORDINATE SYSTEM NAD83(91).

SCALE: 1" = 80'



OWNER: PARCEL 11171-301
THOMAS HEAPS
N6776 STATE ROAD 22
PARDEEVILLE, WI 53954

OWNER: PARCEL 11171-301A3
M&R OIL LLC
W4396 COUNTY ROAD E
PARDEEVILLE, WI 53954

CLIENT:
JACOB GUNDERSON
N7310 WHITTINGHAM DRIVE
PARDEEVILLE, WI 53954

COPY

As prepared by:

G GROTHMAN & ASSOCIATES S.C.
PROFESSIONAL SERVICES
625 EAST SLURF STREET, P.O. BOX 373 PORTAGE, WI. 53901
PHONE: PORTAGE (800) 742-7708 SAUK (800) 844-2677
FAX: (800) 742-0434 E-MAIL: surveyhg@grothman.com
(RED LOGO REPRESENTS THE ORIGINAL MAP)

G & A FILE NO. 522-210

DRAFTED BY: L. DEBOER

CHECKED BY: SPH

PROJ. 221-127

DWG. 522-210

SHEET 2 OF 2

SEAL:



COLUMBIA COUNTY CERTIFIED SURVEY MAP NO. _____

GENERAL LOCATION

Volume _____, Page _____

BEING LOT 3, C.S.M. NO. 1077, AS RECORDED IN VOL 5 OF C.S.M.S, PAGE 69 AS DOCUMENT NO. 456429, AND PART OF THE NW1/4 OF THE NW1/4, ALL IN SECTION 10, T. 12 N, R. 10 E, VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, **SCOTT P. HEWITT** Professional Land Surveyor, do hereby certify that by the order of **Jacob Gunderson**, I have surveyed, monumented, mapped and divided Lot 3, Certified Survey Map, No. 1077 as recorded in Volume 5 of Certified Survey Maps, page 69 as Document No. 456429 and a part of the Northwest Quarter of the Northwest Quarter, Section 10, Town 12 North, Range 10 East, Village of Pardeeville, Columbia County, Wisconsin, described as follows:

Commencing at the Northwest Quarter of Section 10;
thence South 00°03'23" East along the West line of the Northwest Quarter, 872.70 feet;
thence North 88°17'33" East, 173.61 feet to the point of beginning;
thence continuing North 88°17'33" East, 32.26 feet to the Northwest corner of Lot 3, Certified Survey Map, No. 1077;
thence South 73°06'41" East along the North line of Lot 3, Certified Survey Map, No. 1077, 173.88 feet to a point in the Northwestern right-of-way line of State Trunk Highway 22, also known as South Main Street;
thence South 19°22'33" West along the Northwestern right-of-way line of State Trunk Highway 22, also known as South Main Street, 302.38 feet to the Southeast corner of said Lot 3;
thence South 88°17'33" West along the South line of said Lot 3 and the Westerly extension thereof, 88.30 feet;
thence North 01°42'18" West, 337.59 feet to the point of beginning.
Containing 46,613 square feet, (1.07 acres), more or less. Being subject to servitudes and easements of use or record, if any.

I DO FURTHER CERTIFY that this is a true and correct representation of the boundaries of the land surveyed and that I have fully complied with the Provisions of Chapter 236.34 of the Wisconsin State Statutes and the Village of Pardeeville Subdivision Ordinances to the best of my knowledge and belief.

Scott P. Hewitt

SCOTT P. HEWITT

Professional Land Surveyor, No. 2229

Dated: April 15, 2022

File No: 522-210

VILLAGE BOARD APPROVAL

RESOLVED that the certified survey map, located in the Village of Pardeeville, _____, Owner(s), is hereby approved by the Village Board.

[Signature]
Village President

Dated this the 7 day of July, 2022

I HEREBY CERTIFY that the foregoing is a copy of a motion adopted by the Village of Pardeeville.

[Signature]
Village Administrator

OWNER: PARCEL 1171-301
THOMAS HEAPS
N6776 STATE ROAD 22
PARDEEVILLE, WI 53954

OWNER: PARCEL 1171-301A3
M&R OIL LLC
W4396 COUNTY ROAD E
PARDEEVILLE, WI 53954

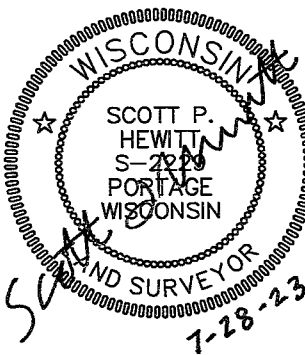
CLIENT:
JACOB GUNDERSON
N7310 WHITTINGHAM DRIVE
PARDEEVILLE, WI 53954

COPY

As prepared by:

GROTHMAN & ASSOCIATES S.C.
PROFESSIONAL SERVICES
625 EAST SUFER STREET, P.O. BOX 373 PORTAGE, WI. 53901
PHONE: PORTAGE: (808) 742-7788 SAUK: (808) 644-8877
FAX: (808) 742-0434 E-MAIL: surveying@grothman.com
(RED LOGO REPRESENTS THE ORIGINAL MAP)

SEAL:



G & A FILE NO. 723-371



DRAFTED BY: L. DEBOER

CHECKED BY: SPH

PROJ. 221-127

DWG. 723-371

SHEET 1 OF 2

COLUMBIA COUNTY CERTIFIED SURVEY MAP NO. _____ GENERAL LOCATION

Volume _____, Page _____

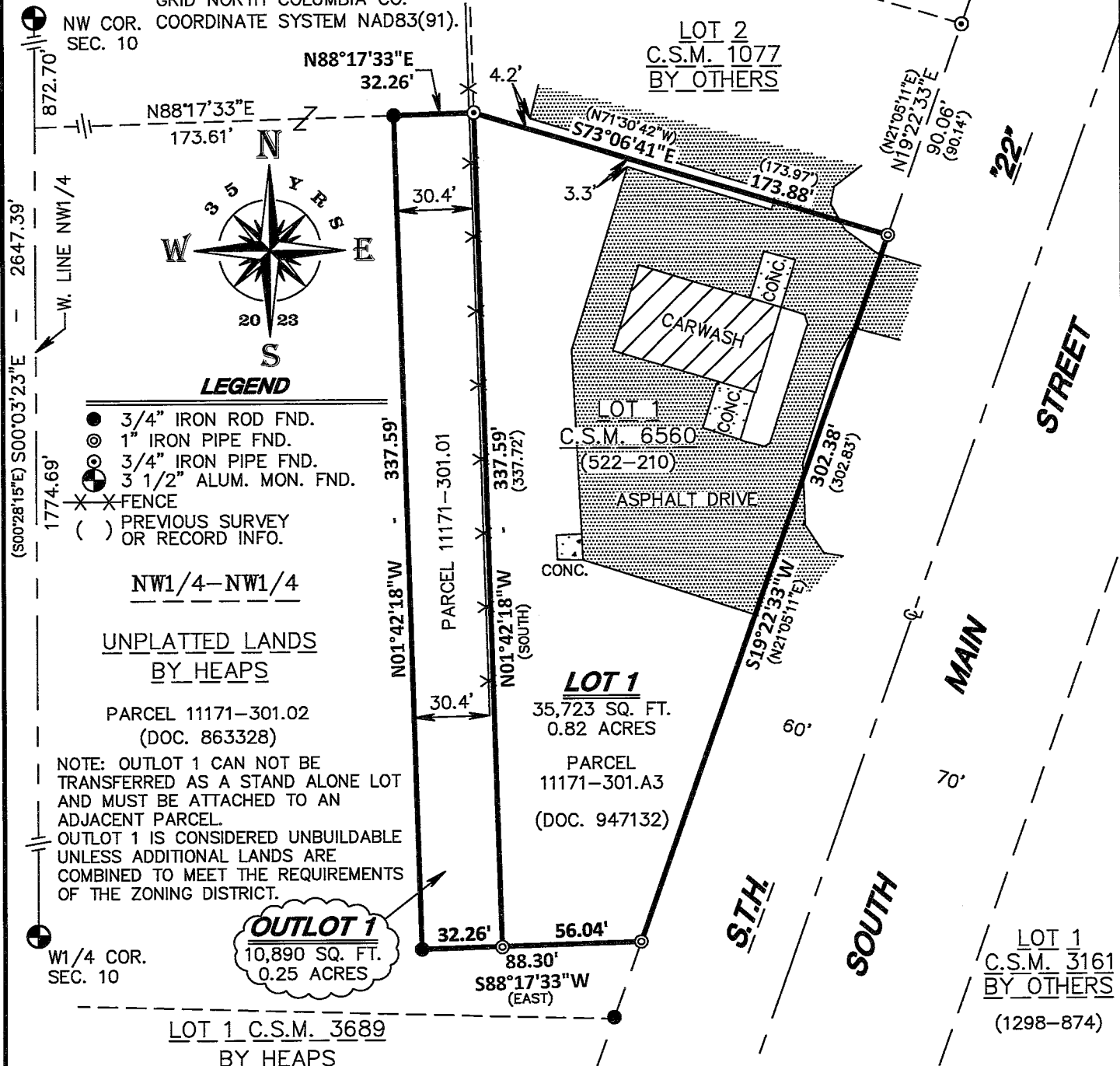
BEING LOT 1, C.S.M. NO. 6560, AS RECORDED IN VOL. 49 OF C.S.M.S, PAGE 20 AS
DOCUMENT NO. 958181, LOCATED IN THE NW1/4 OF THE NW1/4, SECTION 10,
T. 12 N, R. 10 E, VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN.
CONTAINING: 46,613 SQ.FT. - 1.07 ACRES

BASIS OF BEARINGS: IS THE
WEST LINE OF THE NW1/4,
SECTION 10, WHICH BEARS
S00°03'23"E AS REFERENCED TO
GRID NORTH COLUMBIA CO.
COORDINATE SYSTEM NAD83(91).

SCALE: 1" = 60'
0 30 60 120'

LOT 1
C.S.M. 1077
BY OTHERS

LOT 2
C.S.M. 1077
BY OTHERS



OWNER: PARCEL 11171-30101
THOMAS HEAPS
N6776 STATE ROAD 22
PARDEEVILLE, WI 53954

OWNER: PARCEL 11171-301A3
M&R OIL LLC
W4396 COUNTY ROAD E
PARDEEVILLE, WI 53954

CLIENT:
MILLER & MILLER LLC
311 DEWITT STREET
PORTAGE, WI 53901

As prepared by:

GA GROTHMAN & ASSOCIATES S.C.
PROFESSIONAL SERVICES
625 EAST SLIFER STREET, P.O. BOX 373 PORTAGE, WI. 53901
PHONE: PORTAGE: (808) 742-7788 SAUK: (808) 644-8877
FAX: (808) 742-0434 E-MAIL: surveying@grothman.com
(RED LOGO REPRESENTS THE ORIGINAL MAP)

SEAL:



G & A FILE NO. 723-371



DRAFTED BY: L. DEBOER

CHECKED BY: SPH

PROJ. 221-127

DWG. 723-371 SHEET 2 OF 2

COLUMBIA COUNTY CERTIFIED SURVEY MAP NO. _____
GENERAL LOCATION

Volume _____, Page _____

**BEING LOT 1, C.S.M. NO. 6560, AS RECORDED IN VOL. 49 OF C.S.M.S, PAGE 20 AS
DOCUMENT NO. 958181, LOCATED IN THE NW1/4 OF THE NW1/4, SECTION 10,
T. 12 N., R. 10 E, VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN.
CONTAINING: 46,613 SQ.FT. - 1.07 ACRES**

SURVEYOR'S CERTIFICATE

I, **SCOTT P. HEWITT** Professional Land Surveyor, do hereby certify that by the order of **Miller & Miller, LLC**, I have surveyed, monumented, mapped and divided Lot 1, Certified Survey Map, No. 6560 as recorded in Volume 49 of Certified Survey Maps, page 20 as Document No. 958181 located in the Northwest Quarter of the Northwest Quarter, Section 10, Town 12 North, Range 10 East, Village of Pardeeville, Columbia County, Wisconsin.

Containing 46,613 square feet, (1.07 acres), more or less. Being subject to servitudes and easements of use or record, if any.

I DO FURTHER CERTIFY that this is a true and correct representation of the boundaries of the land surveyed and that I have fully complied with the Provisions of Chapter 236.34 of the Wisconsin State Statutes and the Village of Pardeeville Subdivision Ordinances to the best of my knowledge and belief.

Scott P. Hewitt

SCOTT P. HEWITT

Professional Land Surveyor, No. 2229

Dated: July 28, 2023

File No: 723-371

VILLAGE BOARD APPROVAL

RESOLVED that the certified survey map, located in the **Village of Pardeeville**,

_____, Owner(s), is hereby approved by the Village Board.

Village President

Dated this the _____ day of _____, 2023.

I HEREBY CERTIFY that the foregoing is a copy of a motion adopted by the **Village of Pardeeville**.

Village Administrator

OWNER: PARCEL 1171-30101
THOMAS HEAPS
N6776 STATE ROAD 22
PARDEEVILLE, WI 53954

OWNER: PARCEL 1171-301A3
M&R OIL LLC
W4396 COUNTY ROAD E
PARDEEVILLE, WI 53954

CLIENT:
MILLER & MILLER LLC
311 DEWITT STREET
PORTAGE, WI 53901

CERTIFIED SURVEY MAP



DocId:8046884

Tx:4041642

Document Number

Document Title

DOC # 962479**REGISTER OF DEEDS
COLUMBIA COUNTY****RECORDED ON:
12/19/2022 10:50:54 AM****PAGES: 4****LISA KRINTZ
REGISTER OF DEEDS
REC FEE: 30.00**

Recording Area

Name and Return Address

Parcel Identification Number (PIN)

THIS PAGE IS PART OF THIS LEGAL DOCUMENT – DO NOT REMOVE.

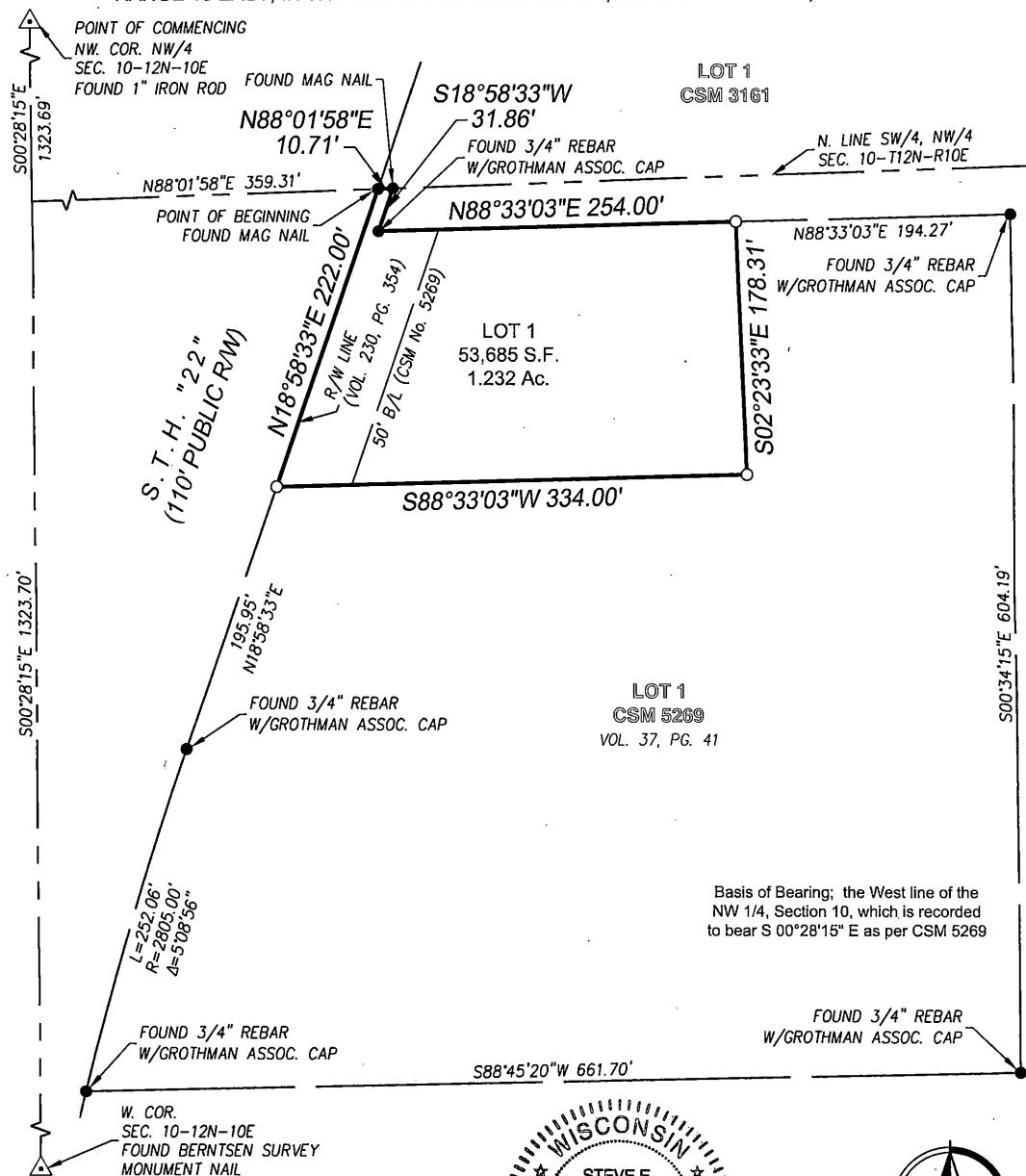
This information must be completed by submitter: document title, name & return address, and PIN (if required). Other information such as the granting clause, legal description, etc., may be placed on this first page of the document or may be placed on additional pages of the document.

WRDA Rev. 12/22/2010

CERTIFIED SURVEY MAP No. 6621

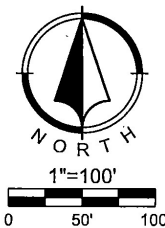
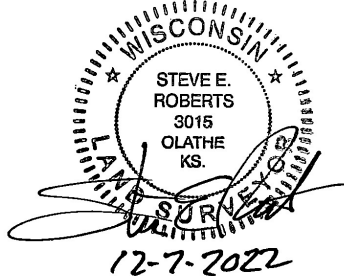
Vol. 49 Pg. 81

BEING A PORTION OF LOT 1 OF CERTIFIED SURVEY MAP 5269 AS RECORDED IN VOLUME 37 OF CERTIFIED SURVEY MAPS, PAGE 41, AS DOCUMENT NO. 826124, AND BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 12 NORTH, RANGE 10 EAST, IN THE VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN



LEGEND:

- △ FOUND SECTION CORNER AS NOTED
- FOUND MONUMENT AS NOTED
- SET 1"x18" IRON PIPE
(MIN. WT. 1.13 LB/LIN/FT.)



Sheet 1 of 3

FOR THE EXECUTIVE USE OF:

Thomas Heaps
Attn: Mike Belew
CBC Real Estate
4706 Broadway, Suite 240
Kansas City, MO 64112



Renaissance
Infrastructure
Consulting

132 Abbie Avenue
Kansas City, Kansas 66103

913.317.9500
www.rio-consult.com

CERTIFIED SURVEY MAP No. _____

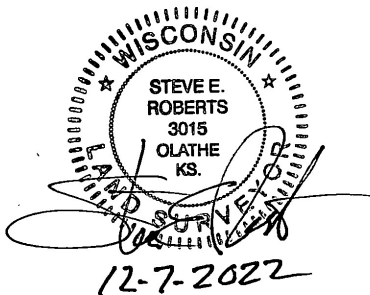
SURVEYOR'S CERTIFICATE OF COMPLIANCE WITH STATUTE

I, Steve E. Roberts, a Professional Land Surveyor, do hereby certify that I have surveyed and mapped a portion of Lot 1 of Certified Survey Map 5269 as recorded in Volume 37 of Certified Survey Maps, Page 41, as Document No. 826124, and being a part of the Southwest Quarter of the Northwest Quarter of Section 10, Township 12 North, Range 10 East, in the Village of Pardeeville, Columbia County, Wisconsin, and described as follows:

Commencing at the Northwest corner of the Northwest Quarter of said Section 10;
thence South 00°28'15" East along the west line of said Northwest Quarter, 1323.69 feet to the Northwest corner of said Southwest Quarter of the Northwest Quarter;
thence North 88°01'58" East along the north line of said Southwest Quarter of the Northwest Quarter, 359.31 feet to the Northwest corner of said Lot 1, said point also being on the easterly right-of-way line of State Trunk Highway 22, said point being the Point of Beginning;
Continuing along the northerly line of said Lot 1 along the following three courses:
thence North 88°01'58" East and also along said easterly right-of-way line, 10.71 feet to a point that is also on the west line of Lot 1, Certified Survey Map 3161;
thence South 18°58'33" West, and also along said west line, 31.86 feet to a point that is also the Southwest corner of said Lot 1, Certified Survey Map 3161;
thence North 88°33'03" East and also being along the south line of said Lot 1, Certified Survey Map 3161, 254.00 feet;
thence departing said northerly line, South 02°23'33" East, 178.31 feet;
thence South 88°33'03" West, 334.00 feet to a point on the westerly line of said Lot 1 of Certified Survey Map 5269, and said easterly right-of-way line;
thence North 18°58'33" East along said westerly line, 222.00 feet to the POINT OF BEGINNING.
Containing 53,685 square feet (1.232 acres), more or less.

Subject to any easements, agreements, covenants and restrictions, recorded or unrecorded.

That such map is a correct representation of all exterior boundaries of the land surveyed and the division of that land. That I have made such survey, division and map by the direction of the Owner(s) of said land, and that I have complied fully with the provisions of Section 236.34 of the Wisconsin Statutes in surveying, dividing and mapping the same.



Steve E. Roberts, PLS 3015 Dated
Renaissance Infrastructure Consulting
132 Abbie Avenue
Kansas City, KS 66103
Phone: 913-258-2928

Approved by the Village of Pardeeville Board, this 06 day of December, 2022

By: [Signature]

Sheet 2 of 3

FOR THE EXECUTIVE USE OF:

Thomas Heaps
Attn: Mike Belew
CBC Real Estate
4706 Broadway, Suite 240
Kansas City, MO 64112



**Renaissance
Infrastructure
Consulting**

132 Abbie Avenue
Kansas City, Kansas 66103

913.317.9500
www.rii-consult.com

CERTIFIED SURVEY MAP No. _____

BEING A PORTION OF LOT 1 OF CERTIFIED SURVEY MAP 5269 AS RECORDED IN VOLUME 37 OF
CERTIFIED SURVEY MAPS, PAGE 41, AS DOCUMENT NO. 826124, AND BEING A PART OF THE
SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 12 NORTH,
RANGE 10 EAST, IN THE VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN

OWNERS CERTIFICATE

As Owner, I hereby certify that I have caused the lands described herein to be surveyed, divided, mapped, and
dedicated as represented on this map. I also certify that this map is required to be submitted to the Village of
Pardeeville for approval.

Thomas Heaps
Thomas Heaps

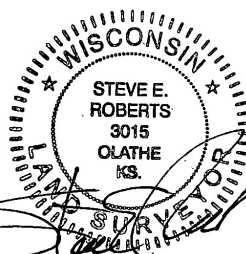
Dated 12-15, 2022

State of Wisconsin } Personally came before me, this 15th day of December, 2022,
County of Columbia } ss. the above named Thomas Heaps, to me known to be the same person who
executed the foregoing certificate and acknowledged the same.

Janice M. Jahnke
Notary Public, Columbia County, Wisconsin

My commission Expires
05/28/2024

**JANICE M. JAHNKE
NOTARY PUBLIC
STATE OF WISCONSIN**


12-7-2022

Sheet 3 of 3

FOR THE EXECUTIVE USE OF:

Thomas Heaps
Attn: Mike Belew
CBC Real Estate
4706 Broadway, Suite 240
Kansas City, MO 64112



**Renaissance
Infrastructure
Consulting**

132 Abble Avenue
Kansas City, Kansas 66103

913.317.9500
www.ric-consult.com

Site Benchmarks:

CP#10:
Set 1/2" Iron Bar with Control Cap.
Northing: 556510.68, Easting: 2152998.75
Elev: 820.29

CP#11:
Set 1/2" Iron Bar with Control Cap.
Northing: 556464.33, Easting: 2153417.90
Elev: 816.22

CP#12:
Set 1/2" Iron Bar with Control Cap.
Northing: 556217.56, Easting: 2152898.19
Elev: 820.48

CP#13:
Set 1/2" Iron Bar with Control Cap.
Northing: 556227.27, Easting: 2153233.71
Elev: 819.70

BM A:
Set Square Cut
Elev: 822.02

Legal Description:

A portion of Lot 1 of Certified Survey Map 5269 as recorded in Volume 37 of Certified Survey Maps, Page 41, as Document No. 826124, and being a part of the Southwest Quarter of the Northwest Quarter of Section 10, Township 12 North, Range 10 East, in the Town of Wycocena, Columbia County, Wisconsin, and described as follows:

Beginning at the Northwest corner of said Lot 1, said point being at the intersection of the north line of said Southwest Quarter of the Northwest Quarter and the easterly right-of-way line of State Trunk Highway 22;

Continuing along the northerly line of said Lot 1 along the following three courses:

thence North 88°01'58" East, 10.71 feet;

thence South 18°58'33" West, 31.86 feet;

thence North 88°33'03" East, 254.00 feet;

thence departing said northerly line, South 02°23'33" East, 178.31 feet;

thence South 88°33'03" West, 334.00 feet to a point on the westerly line of said Lot 1 and said easterly right-of-way line;

thence North 18°58'33" East along said westerly line, 222.00 feet to the POINT OF BEGINNING.

Containing 53,685 square feet (1.232 acres), more or less.

FLOOD PLAIN NOTE

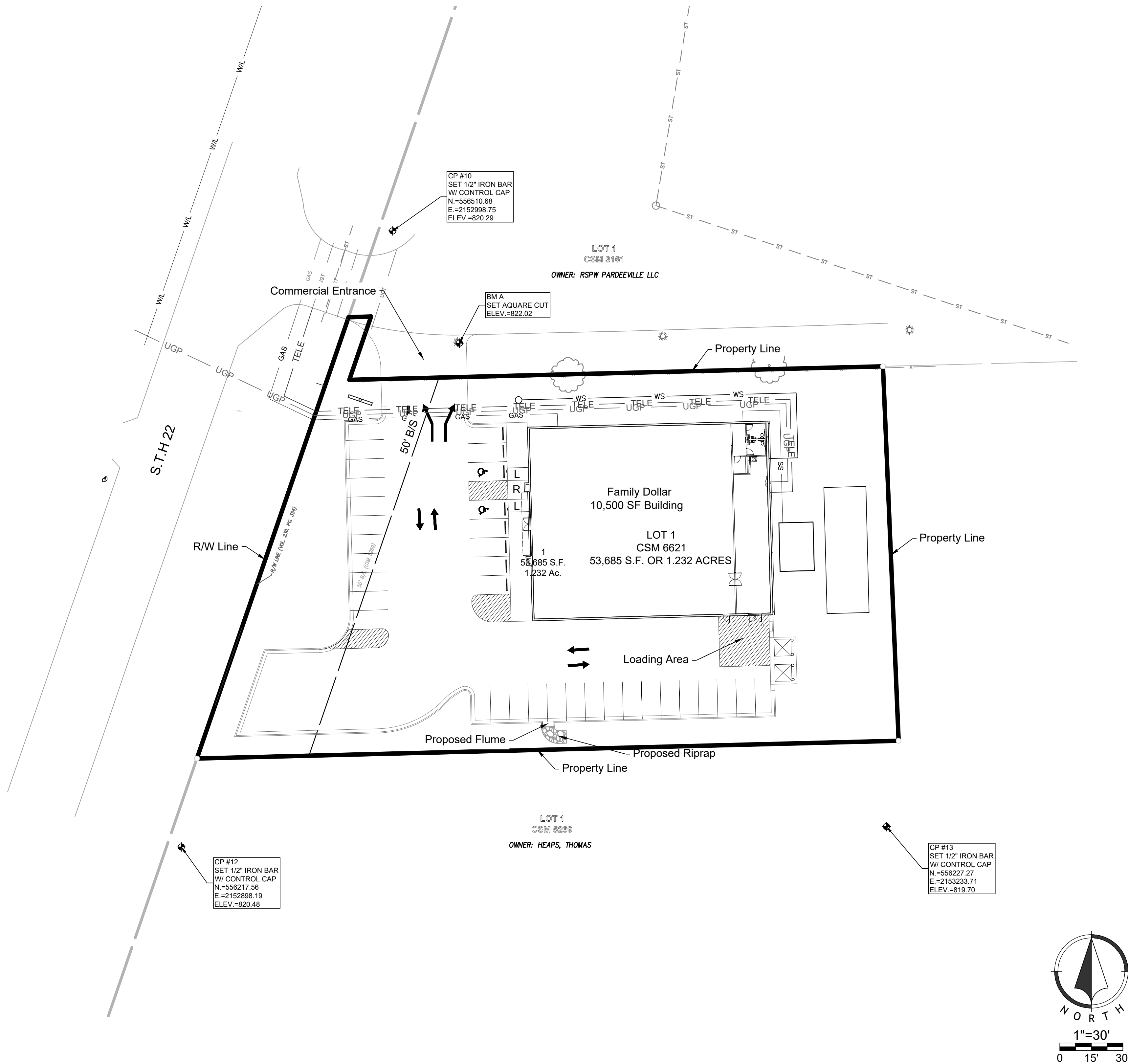
According to the F.E.M.A. Flood Insurance Rate Map Number 55021C0293F, revised May 16, 2016, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.

UTILITIES NOTE

The information concerning locations of underground utilities shown hereon which are not visible from the surface, has been taken from the records and field locations of the various utility companies and has not been field verified by this company. These locations are not to be construed as accurate or exact.

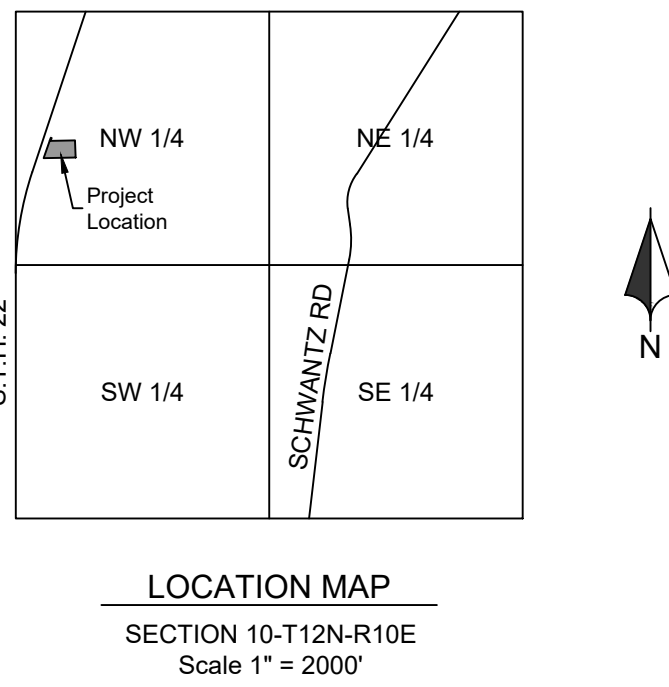
UTILITIES

City of Pardeeville - Public Utilities
Water, Sewer Utility Dept. & Electricity
114 Lake Street, PO Box 65
Pardeeville, WI 53954-0068
P: 608-429-3054 / F: 608-429-3714



LEGEND

Existing Section Line	Proposed Right-of-Way
Existing Right-of-Way Line	Proposed Property Line
Existing Lot Line	Proposed Lot Line
Existing Easement Line	Proposed Easement
Existing Curb & Gutter	Proposed Curb & Gutter
Existing Sidewalk	Proposed Sidewalk
Existing Storm Sewer	Proposed Storm Sewer
Existing Storm Structure	Proposed Storm Structure
Existing Waterline	Proposed Fire Hydrant
Existing Gas Main	Proposed Waterline
Existing Sanitary Sewer	Proposed Sanitary Sewer
Existing Sanitary Manhole	Proposed Sanitary Manhole
Existing Contour Major	Proposed Contour Major
Existing Contour Minor	Proposed Contour Minor
	Future Curb and Gutter
U/E Utility Easement	
SS/E Sanitary Sewer Easement	A/E Access Easement
D/E Drainage Easement	T/E Temporary Easement



Sheet List Table	
Sheet Number	Sheet Title
C0.0	General Layout
C0.1	General Notes
C1.0	Existing Conditions & Demolition Plan
C2.0	Site Plan
C2.1	Dimension Plan
C3.0	Grading Plan
C3.1	Detailed Grading Plan - West
C3.2	Detailed Grading Plan - East
C4.0	Utility Plan
C5.0	Drainage Map
C6.0	Erosion Control Plan I
C6.1	Erosion Control Plan II
C6.2	Erosion Control Plan III
C6.3	Seeding Plan
C6.4	Erosion Control Plan Details
C7.0	Standard Details

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ADA ACCESSIBLE ROUTE NOTES

- All Accessible route construction shall conform to the latest version of the ADA Standards for Accessible Design published by the Department of Justice and the Proposed Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way published by the United States Access Board.
- Other than ramps and ramp runs, walking surfaces must have running slopes not steeper than 1:20.
- The cross slope of walking surfaces shall not be steeper than 2%.
- The minimum width for a linear segment of accessible route shall be 36 inches.
- Where the accessible route makes a 180 degree turn around an element which is less than 48 inches wide, clear width shall be 42 inches minimum approaching the turn, 48 inches minimum at the turn and 42 inches leaving the turn.
- An accessible route with a clear width less than 60 inches shall provide passing spaces at intervals of 200 feet maximum. Passing spaces shall be 60 inch by 60 inch minimum.
- Ramp runs shall have a running slope not steeper than 1:12.
- Ramp runs with a rise greater than 6 inches shall have handrails.
- Ramp landings with a maximum slope of 1:48 shall be provided before and after ramp runs.
- The maximum rise of a ramp run shall be 30 inches.
- The maximum counter slope between the pavement and the curb at a curb ramp shall be 1:20.
- Curb ramp landings with a maximum slope of 1:48 shall be provided at the top of curb ramps with a clear width of 60 inches.
- Detectable warning surfaces complying with the latest ADA Standards shall be provided at pedestrian street crossings and refuge islands.
- Passenger loading zones shall be provided adjacent to any ADA Accessible stall and have a 2% maximum slope in all directions.
- Contractor to field verify existing site conditions and contact the engineer if field conditions do not match plan prior to construction.

LAYOUT & PAVING NOTES

- All construction shall conform to the City of Pardeeville minimum design standards.
- Contractor shall keep a full set of City of Pardeeville Standard Details onsite at all times.
- The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies to the architect/engineer prior to beginning work.
- The contractor shall verify the exact location of all existing utilities, take care to protect utilities that are to remain, and repair contractor caused damage according to current local standards and at the contractor's expense. Coordinate all construction with the appropriate utility company.
- The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work.
- Prior to installing, constructing, or performing any work in the public right of way or on the public storm sewer line (including concrete pavement or connecting private drainage systems to the storm sewer), contact City Public Works for inspection of the work. Contact must be made at least 24 hours prior to start of the work.
- Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Adjust all utilities prior to installation of pavement.
- The contractor shall protect all trees to remain, in accordance with the specifications. Do not operate or store heavy equipment, nor handle, nor store materials within the drip lines of trees or outside the limit of grading.
- Concrete walks and pads shall have a broom finish. All concrete shall be 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
- All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
- Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
- Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
- For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.

PAVEMENT MARKING AND SIGNAGE NOTES

- Parking stall marking stripes shall be four inch (4") wide white stripes. Handicap stall marking shall be furnished at locations shown on plans.
- Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform Traffic Control Devices."
- Traffic control and pavement markings shall be painted with a white Sherwin Williams TM2125 HOTLINE Fast Dry or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

WRITTEN SEQUENCING

- Implement Pre-Construction Plan:**
All temporary structural BMP's shown on the BMP plan must be in place before any site disturbance. Clearing necessary to place temporary structural BMP's is the minimum required for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in Place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
- Clear and Stabilize Work Areas:**
Grade contractor areas and place all-weather surface on contractor areas.
- Clearing and Grubbing:**
After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.

GRADING NOTES

- All construction shall conform to the City's minimum design standards.
- Spot Grades shown herein shall govern over finished grades.
- All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Wisconsin, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, streetlight and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
- The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
- The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
- All public street sidewalk ramps constructed will be required to comply with the Americans with Disabilities Act (ADA).
- Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
- All work shall be confined within easements and/or construction limits as shown on the plans.
- Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
- All National Pollution Discharge Elimination System (NPDES) standards shall be met.
- Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.

EARTHWORK NOTES:

- CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted. Proposed contours and elevations shown represent approximate finish grade.
- CLEARING AND GRUBBING: Prior to the start of grading and earthwork, the areas to be graded shall be stripped of all vegetation, organic matter, and topsoil, to a minimum depth of four inches (4") or as otherwise directed by the Geotechnical Engineer. Stripping materials shall not be incorporated into structural fills. Topsoil materials shall not be used in building and pavement areas.
- TOPSOIL: Prior to the start of grading, the contractor shall strip all topsoil from areas to be graded and stockpile at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping.
- SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proof rolled and approved under the direction of the Geotechnical Engineer or his representative.
- proof rolling: Prior to the placement of new fill material, the existing subgrade shall be proof rolled and approved under the direction of the Geotechnical Engineer. Unsuitable areas identified by the proof rolling areas shall be undercut and replaced with controlled structural fill or treated with fly ash per the Geotechnical report.
- EARTHWORK:
 - GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report.
 - SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
 - FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil, and debris. All fill required for project shall be provided by the Contractor. Material Shall be pre-approved by the Engineer prior to placement.
 - EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose fit measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS: Earth fill material shall be placed and compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall be within a range of -2% to 3% above the optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- TESTING AND INSPECTION: Testing and inspection services required to make tests required by the specifications and to observe the placement of fills and other work performed on this project shall be provided by a commercial testing laboratory (Geotechnical Engineer) selected by the owner. The cost of testing will be the owner's responsibility.
- SEEDING: All areas disturbed by earthwork operations in the right-of-way shall be seeded.
- Recommendations within the project geotechnical report shall supercede all earthwork notes.

SITE UTILITY NOTES

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as Shown on these plans is based on records of the various utility Companies, und where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate and/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
- The construction of storm sewers on this project shall conform to the requirements of Columbia, Pardeeville Technical Specifications and Design Criteria.
- The contractor shall field verify the exact location and elevation of the existing storm sewer locations and the existing elevations at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans. The contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
- It will be the contractors responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
- Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of the curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. spacing and at all bend points. Do not connect roof drains directly to storm sewer pipes.
- The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, back flow devices, pits, valves and all other incidentals required for a complete operable fire protection and domestic water system, if not furnished or installed by the Board of Public Utilities. Coordinate with the Board of Public Utilities. All costs associated with the complete water system for the building shall be the responsibility of the contractor. All work shall conform to the requirements of Columbia, Pardeeville.
- The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the building to the public line. The contractor shall refer to the architectural plans for specific locations and elevations of the service lines of the building connection. All work shall conform to the requirements of Pardeeville.
- The contractor is responsible for securing all permits, bonds and insurance required by the contract documents, Pardeeville, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by the construction documents. The cost for all permit bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work.
- By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- The contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structure. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
- All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
- Storm sewer roof drains(st) shall be as follows (unless otherwise shown on plans).
 - PVC SDR 35 per ASTM D3034, for pipes less than 12" deep.
 - PVC SDR 26 per ASTM D3034, for pipes 12' to 20' deep.
- Waterlines shall be as follows (unless otherwise shown on plans):
 - for 8" and larger: ductile iron pipe per AWWA C150
 - between 2" and 6": copper tube Type "K" per ANSI 816.22 or ductile iron pipe per AWWA C150
 - For smaller than 2":copper tube Type "K" per ANSI 816.22
- Minimum trench width shall be 2 feet.
- Contractor shall maintain a minimum of 66" of cover on all waterlines. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to the Board of Public Utilities specifications for commercial services.
- All waterlines shall be kept ten feet (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, an 18" vertical clearance (outside edge of pipe to outside edge of pipe) of the waterline above the sewer line is required.
- In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of the crossing (or encased in concrete the same distance), the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18" clearance. Meeting requirements ANSI A21.10 or ANSI 21.11 (AWWA C151)(Class 50).
- All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
- refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place and tested prior to paving.
- When a building utility Connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such utility terminations.

GENERAL NOTES

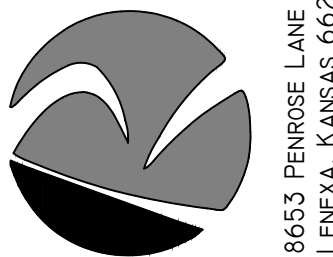
- All work in public easements and right of way and all erosion control work must comply with the latest edition of the Technical Provisions & Standard Drawings for Roads and Sewers, of Pardeeville, Columbia County, Wisconsin. If any general notes conflict with the Technical Provisions & Standard Drawings for Roads and Sewers, of Pardeeville, Columbia County, Wisconsin, the Cities standards shall override.
- All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of WI, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
- The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
- The contractor shall remove existing trees and shrubbery within the right-of-way adjacent to future thoroughfare improvements.
- The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
- All public street sidewalk ramps constructed will be required to comply with the Americans with Disabilities Act (ADA) and Pardeeville, WI sidewalk details.
- Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
- All work shall be confined within easements and/or construction limits as shown on the plans.
- Any existing and/or temporary storm sewer pipes and box culverts to be abandoned in place shall be grouted using a slurry grout mixture meeting a 7-day compressive strength of 100-150 psi. The slurry grout mixture of fly ash, cement, fine aggregate, forming agents and water shall be approved by the City and shall possess adequate flow characteristics to fill all voids.
- All existing utilities indicated on the drawings are according to the best information available to the engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and un-shown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor will be responsible for all damages to existing utilities, pavement, fences, structures, and other features not designated for removal. The contractor shall repair all damages at his expense.
- By use of these construction documents the contractor hereby agrees that he shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses, or damages related to the project.
- The contractor will be responsible for providing all signage, barricades, lighting, etc., as required for temporary traffic control during the construction of this project. Maintenance of the temporary traffic control devices will be the contractor's responsibility. All traffic control in conduction with construction in the right-of-way shall be in conformance with the City Traffic Control Requirements.
- Geogrid, footings, or other elements of the retaining wall(s) cannot encroach into the right of way, public easements, or adjacent private property.
- All building and life safety issues shall comply with the 2021 International Fire Code (or currently adopted edition) and local amendments as adopted by Pardeeville, WI
- Contractor shall be responsible for obtaining all permits including land disturbance, right-of-way, hauling, etc., with Public Works prior to construction.
- Contractor shall restore all disturbed right-of-way upon project completion.
- Prior to construction, contractor shall install pre-construction erosion control measures.

EROSION CONTROL NOTES

- All work in public easements and right-of-way and all erosion control work must comply with the latest edition of the Technical Provisions & Standard Drawings for Roads and Sewers, of Pardeeville, WI. If any of the general notes conflict with the Technical Provisions & Standard Drawings for Roads and Sewers of Pardeeville, WI. The Cities standards shall override.
- The contractor shall provide all materials, tools, equipment, and labor as necessary to install and maintain adequate erosion control, keep the streets clean of mud and debris, and prevent soil from leaving the project site. The contractor's erosion control measures shall conform to Pardeeville, WI Technical Provisions and Specifications. Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsite sedimentation.
- The contractor shall be responsible for maintaining erosion control devices and removing sediment until a minimum of 70% of permanent vegetation has become stabilized and established. Erosion control devices shall remain in place until the 70% established vegetation is met, or the duration of the project, whichever is the later date.
- The contractor shall temporarily seed and mulch all disturbed areas if there has been no construction activity on them for a period of fourteen (14) calendar days.
- Install "J" Hooks on silt fence every 100 LF.
- Contractor to install all Phase I erosion control devices prior to construction.
- Contractor shall replace disturbed area with seed or sod, as indicated on the plans, and shall be installed within 14 days after paving completion and final topsoil grading. Topsoil replacement shall be 6" thick.
- Silt fence to be installed in accordance with Pardeeville, WI Standard Details.
- Refer to 2002 WisDOT Erosion Control and Stormwater Quality Guide (or currently adopted edition) for good housekeeping and spill measures.
- The Contractor shall inspect erosion control devices every 7 days and within 24 hours of a storm of 0.5 inches or more. The Contractor shall repair damage, clean out sediment, and add additional erosion control devices as needed, as soon as practicable, after inspection. The Contractor shall also inspect and assure that all sediment control devices are in working condition prior to any forecasted rainfall.

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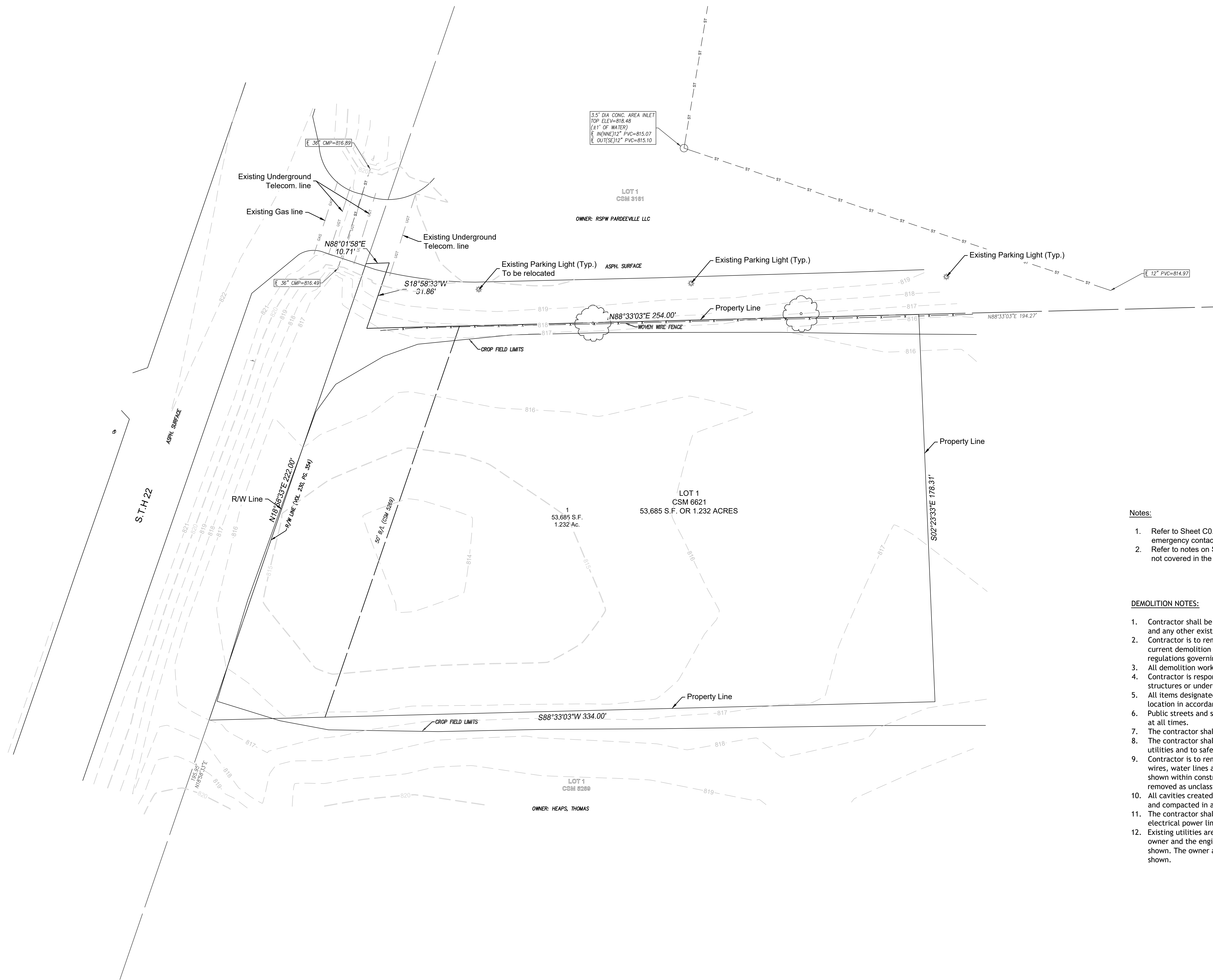


8463 FRANKLIN AVE
SUITE 100
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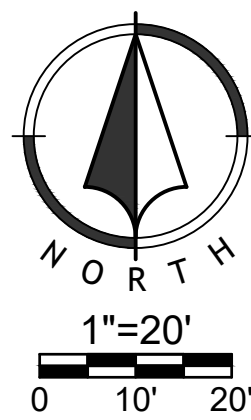
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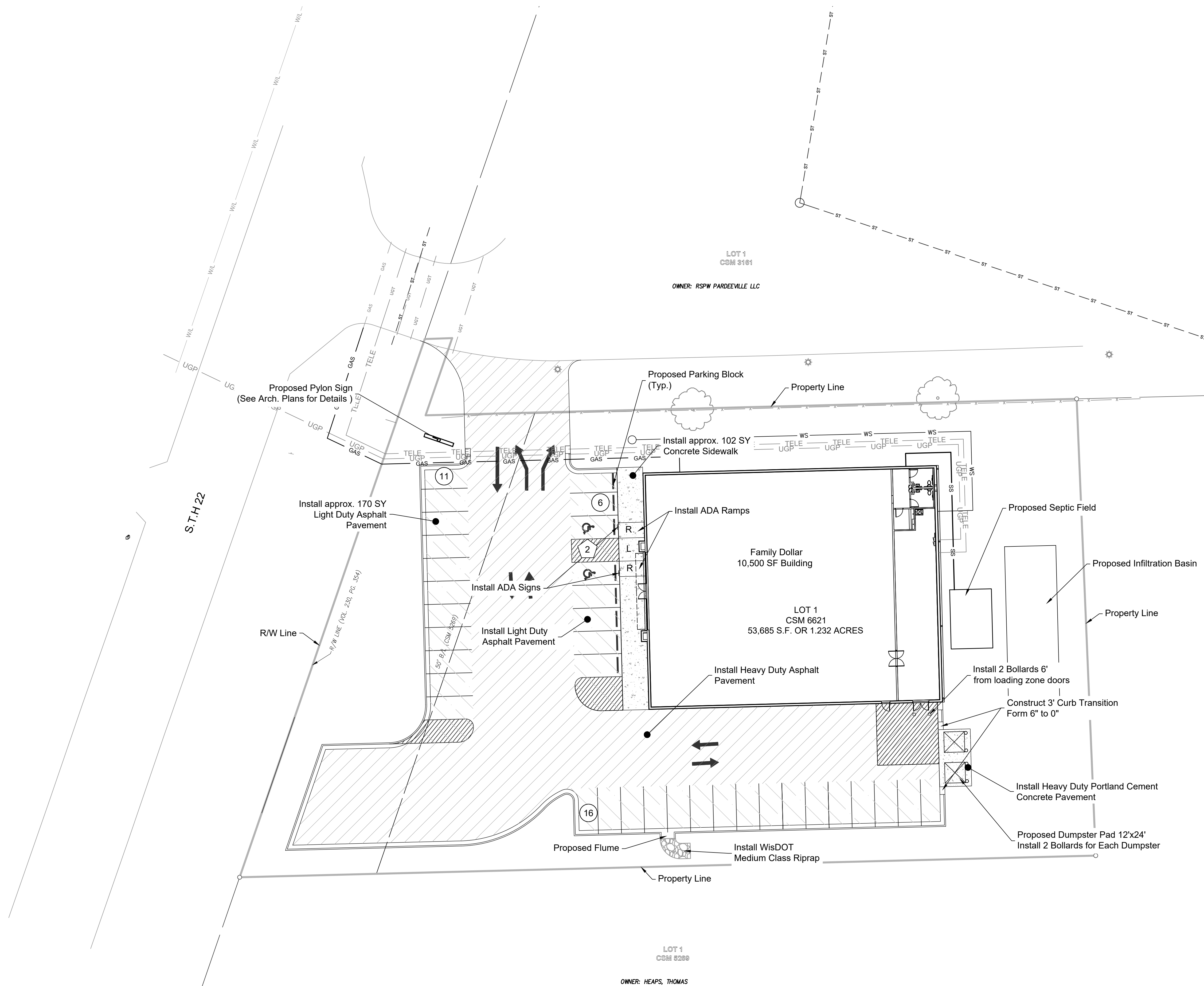


- Notes:
1. Refer to Sheet C0.0 General Layout for utility and emergency contact information.
 2. Refer to notes on Sheet C0.1 General Notes for anything not covered in the Demolition Notes below.

- DEMOLITION NOTES:
1. Contractor shall be responsible for raising and removal of the existing structures, related utilities, paving, and any other existing improvements as noted.
 2. Contractor is to remove and dispose of all debris, rubbish and other materials resulting from previous and current demolition operations. Disposal will be in accordance with all Local, State and/or Federal regulations governing such operations.
 3. All demolition work shall be performed in accordance with the owner's site work specifications.
 4. Contractor is responsible for repairs of damage and adjustments due to conflicts or grading to any existing structures or underground utilities that are to remain in place.
 5. All items designated to be demolished and removed from the site shall be disposed of in an appropriate location in accordance with state or local guidelines.
 6. Public streets and sidewalks shall be kept clean and clear of trash and debris from demolition operations at all times.
 7. The contractor shall be responsible for dust and erosion control during demolition operations.
 8. The contractor shall coordinate with all applicable utility companies prior to removal or relocation of any utilities and to safely stop services and dismantle service lines prior to beginning demolition operations.
 9. Contractor is to remove and re-use if applicable, but is not limited to sewer pipes, power poles and guy wires, water lines and meters, vegetation, asphalt, and other unsuitable debris or material shown or not shown within construction limits and where necessary to allow for construction activity, all material to be removed as unclassified excavation.
 10. All cavities created by removal of existing facilities in the area of proposed construction shall be filled and compacted in accordance with the site work specifications to subgrade elevation.
 11. The contractor shall exercise extreme caution when working in the vicinity of the existing overhead electrical power lines.
 12. Existing utilities are shown as located and identified in the field by utility company representative. The owner and the engineer make no assurance of the actual location, depth, size or type of utility lines shown. The owner and the engineer makes no assurance that all of the existing utility lines on the site are shown.





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Site Data Table
Lot Area - 1.23 Acres
Building Area - 10,500 SF
Paved Area - 22,821 SF
Percent Lot Covered -61%
Percent Building Covered - 19.76%

Parking Count Legend

ADA Stall Count 
Standard Stall Count 

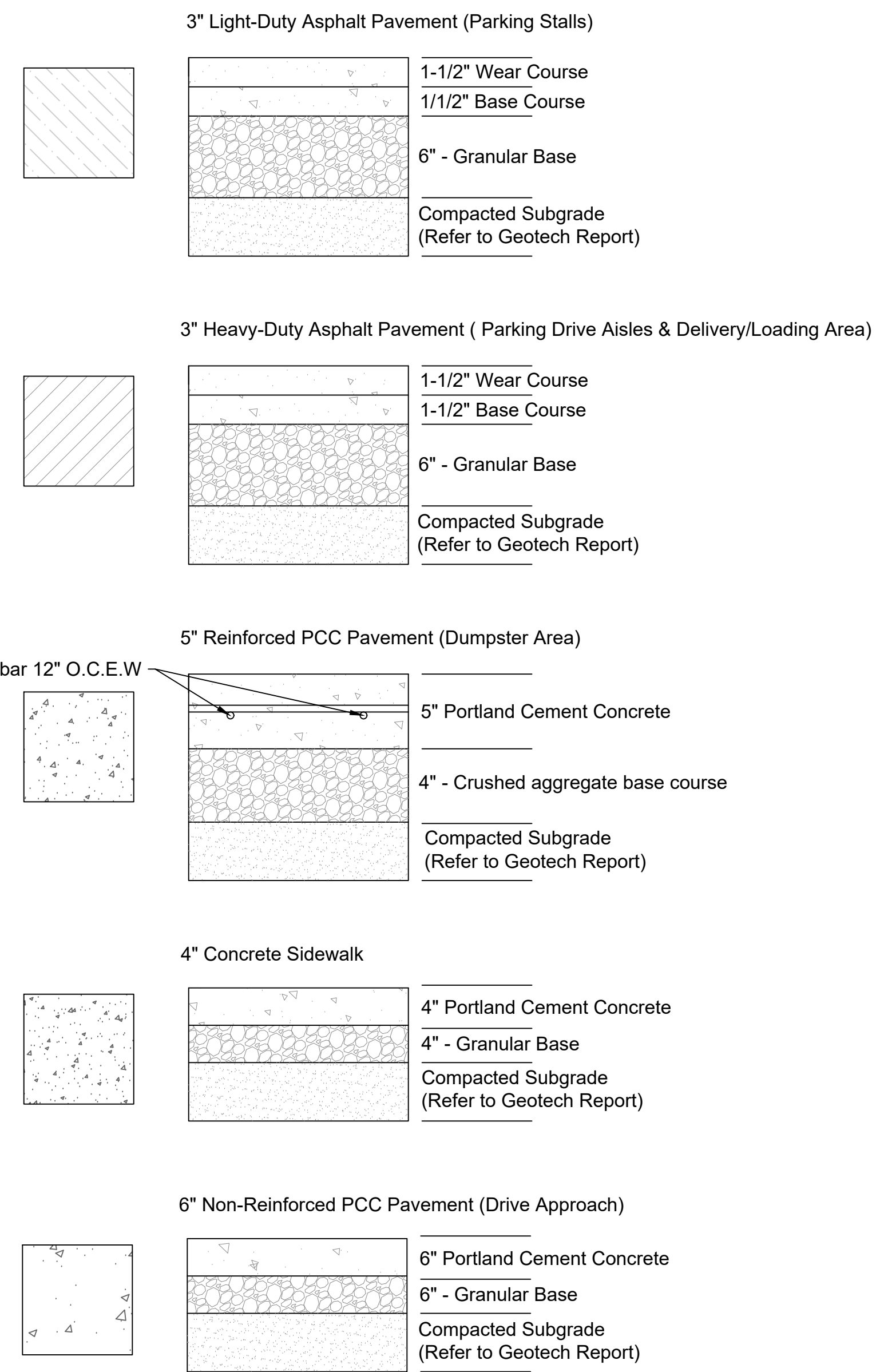
Site Parking Table:

Proposed Building Area: 10,500 sqft
Parking Required: 35 Stalls
Parking Provided: 33 Stalls +
2 ADA Stalls

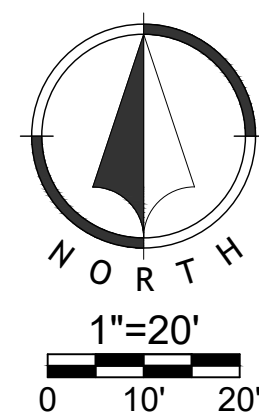
Setbacks: (Section 480-20/D)


Front: 50'
Rear: 20'
Side: 20'

LEGEND



Pavement Sections & Subgrade treatment taken from Geotechnical recommendations by Kilo Engineering, Project #22-1057, dated 9/19/2022.





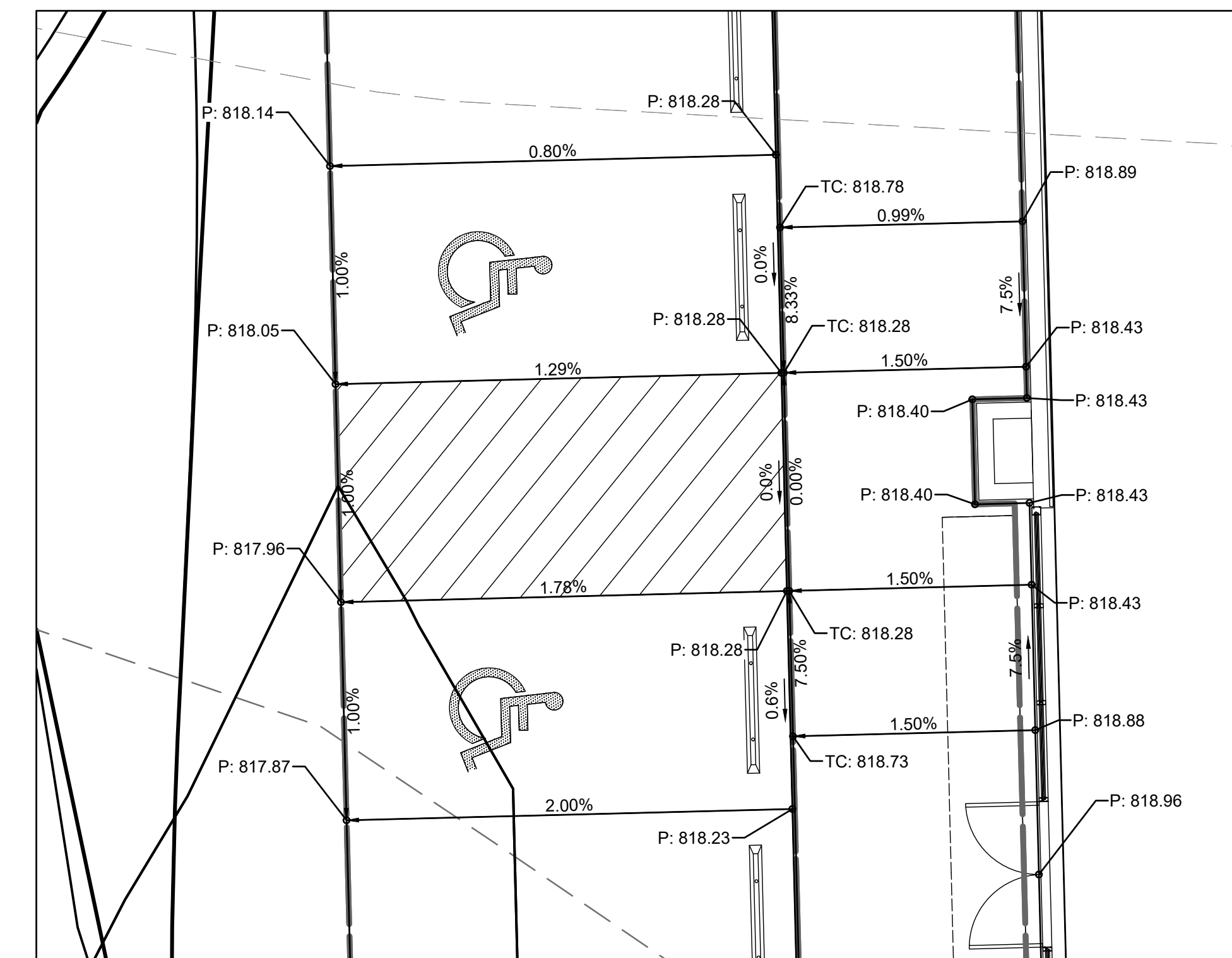
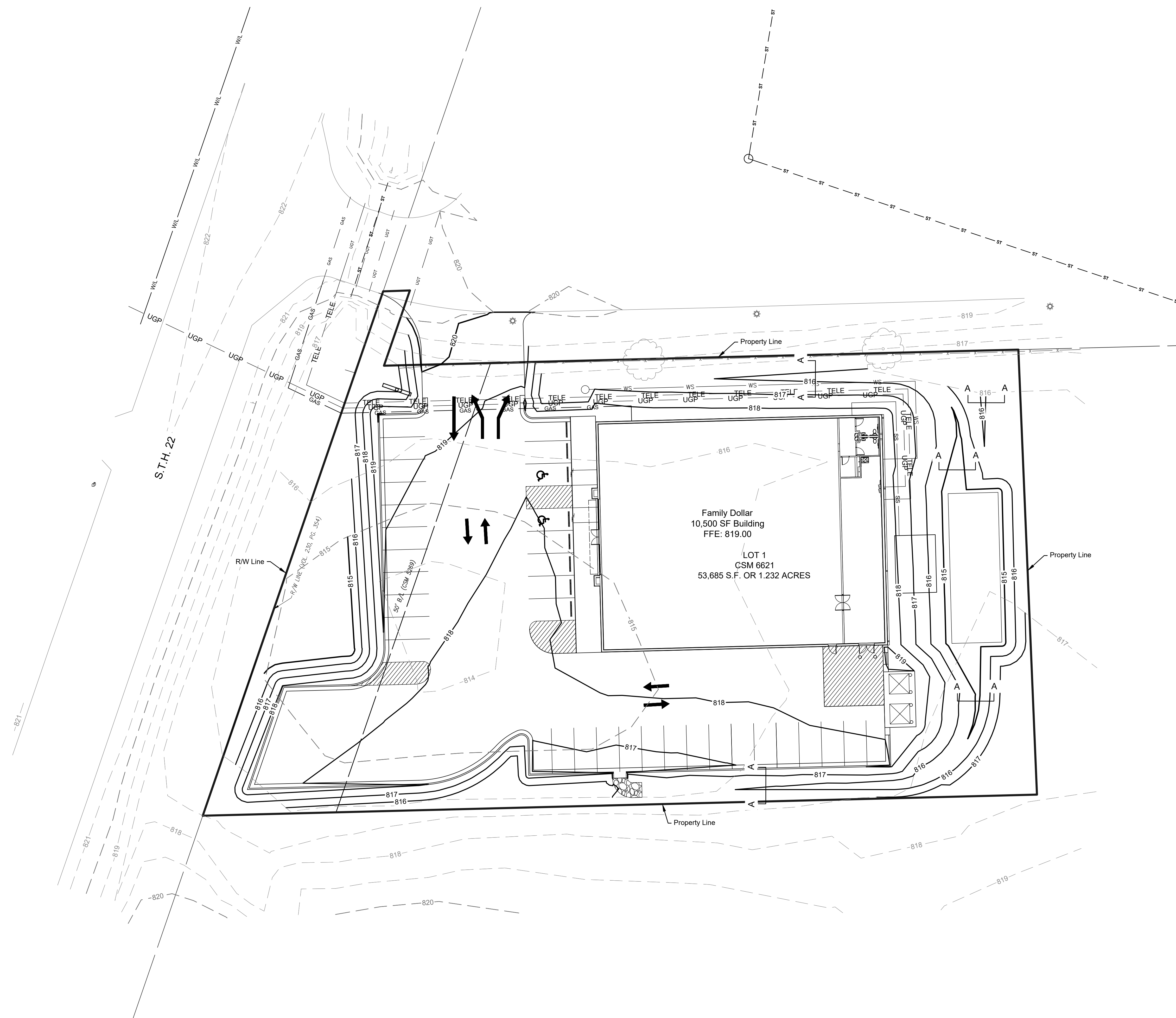
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9653 S. PIERCE LANE
LENEXA, KANSAS 66219

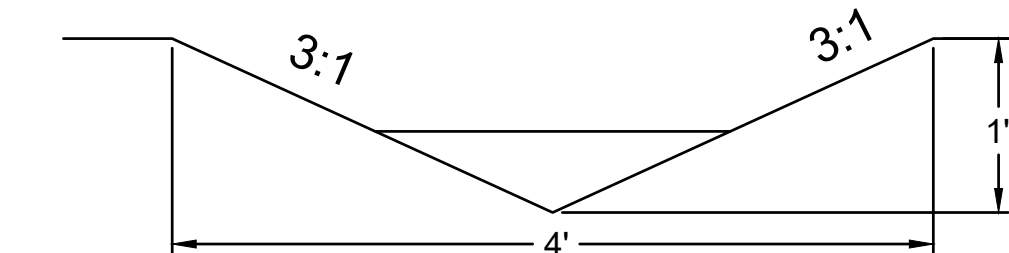
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Construction Documents
22-0111
Family Dollar
Pardeeville, Columbia County, WI

Construction Documents



ADA GRADING DETAIL
Scale : 1"= 5'



Grass Swale Section A-A

Disturbed Area: 1.09 Acres

Earthwork Quantities:

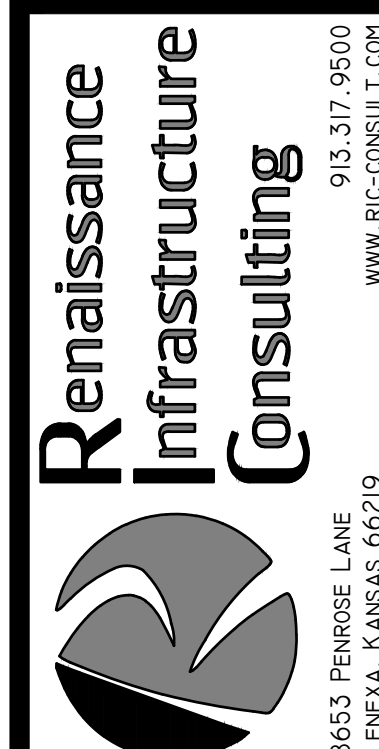
Cut: 283.54 CY (Cut)
Fill: 3,973.14 CY (Fill)
Net: 3,689.60 CY (Net Fill)

Earthwork Quantities Notes:

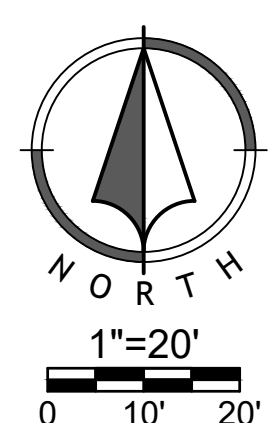
1. Earthwork quantities based on finished grade surface and do not include adjustments for topsoil and shrinkage.
2. Earthwork quantities do not take into consideration excavation, removal and disposal of material deemed unsuitable by a geotechnical engineer. The earthwork contractor is responsible for excavation, removal and disposal of unsuitable material and for replacing it with suitable material.

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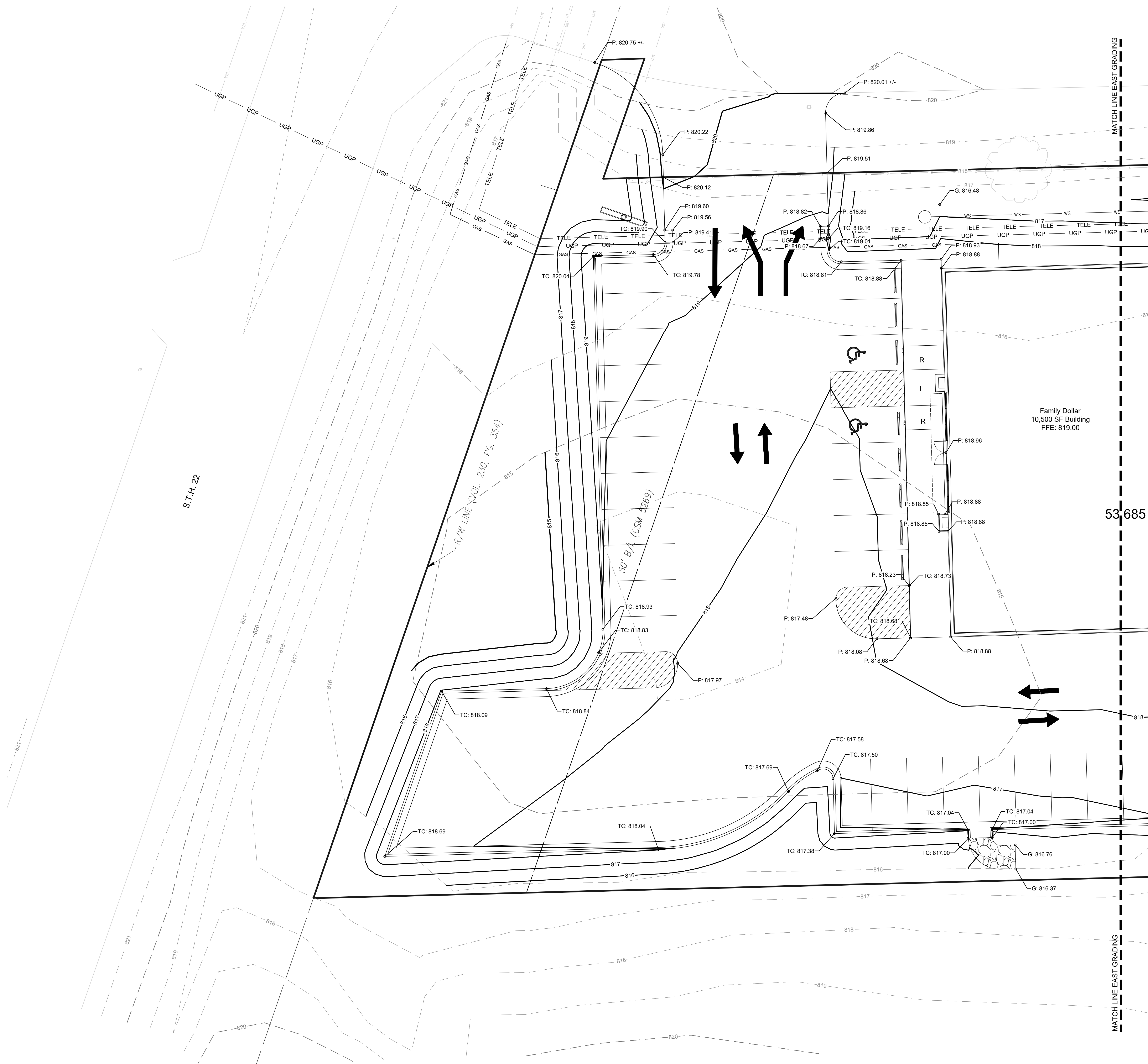


WI Certificate of Authority: R068918



Sheet
C3.0

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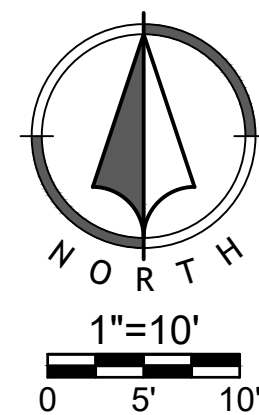


LEGEND

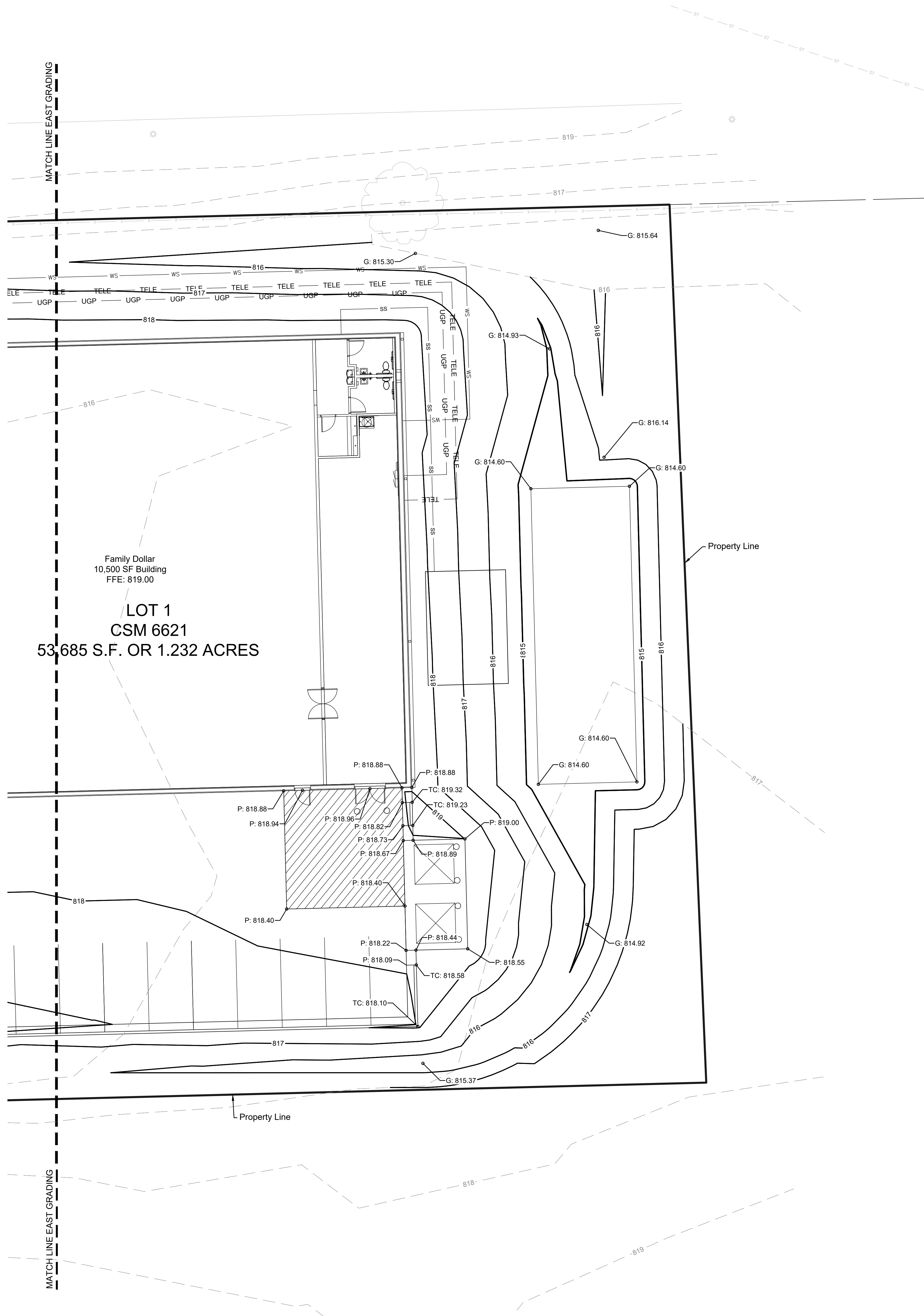
- TC: Top of Curb
P: Pavement
TS: Top of Structure
FL: Flowline of Pipe
G: Ground
(HP) High Point
(LP) Low Point
TW: Top of Wall
BW: Bottom of Wall
SW: Side Walk

LEGEND

- Existing Major Contour
--- Existing Minor Contour
--- Proposed Major Contour
--- Proposed Minor Contour



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LEGEND
TC: Top of Curb
P: Pavement
TS: Top of Structure
FL: Flowline of Pipe
G: Ground
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LEGEND
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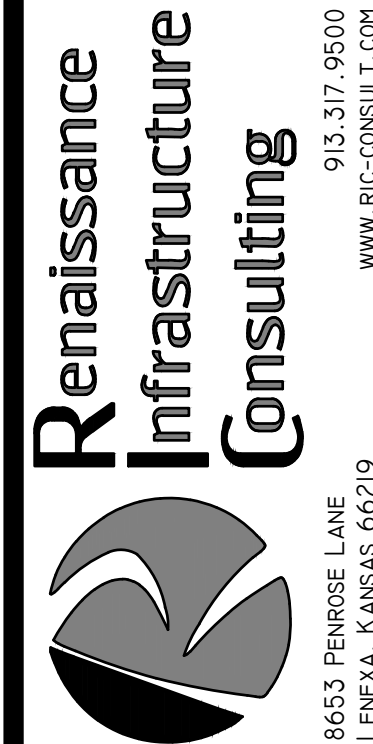


Construction Documents

22-0111
Family Dollar
Pardeeville, Columbia County, Wisconsin

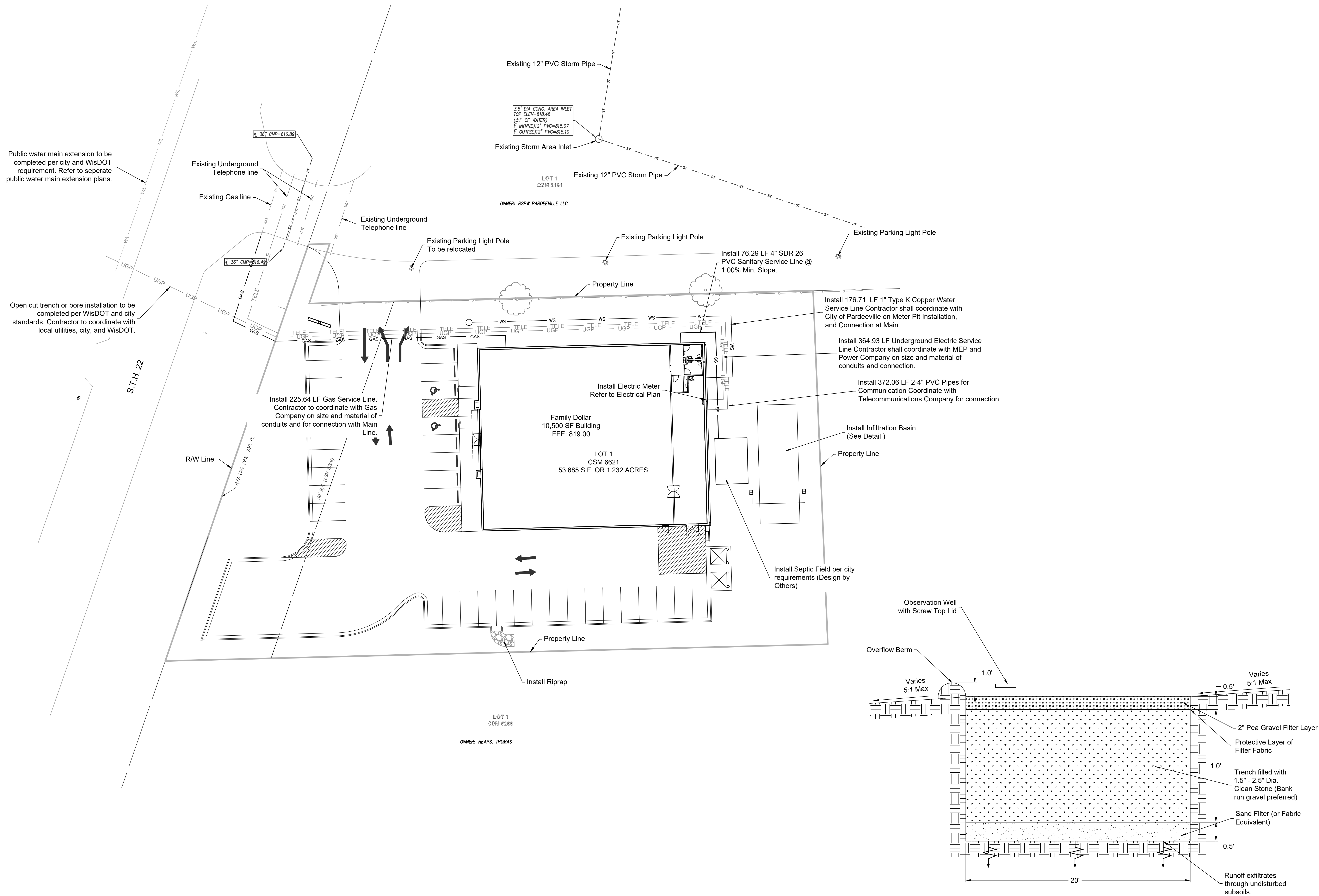
Detailed Grading Plan - East

NO.	DATE	REVISION
1/05/2023		Rev Set
DRAWN BY	CHECKED BY	
BW	DB	



Sheet
C3.2

Inventory: 2022-05-17.rvt
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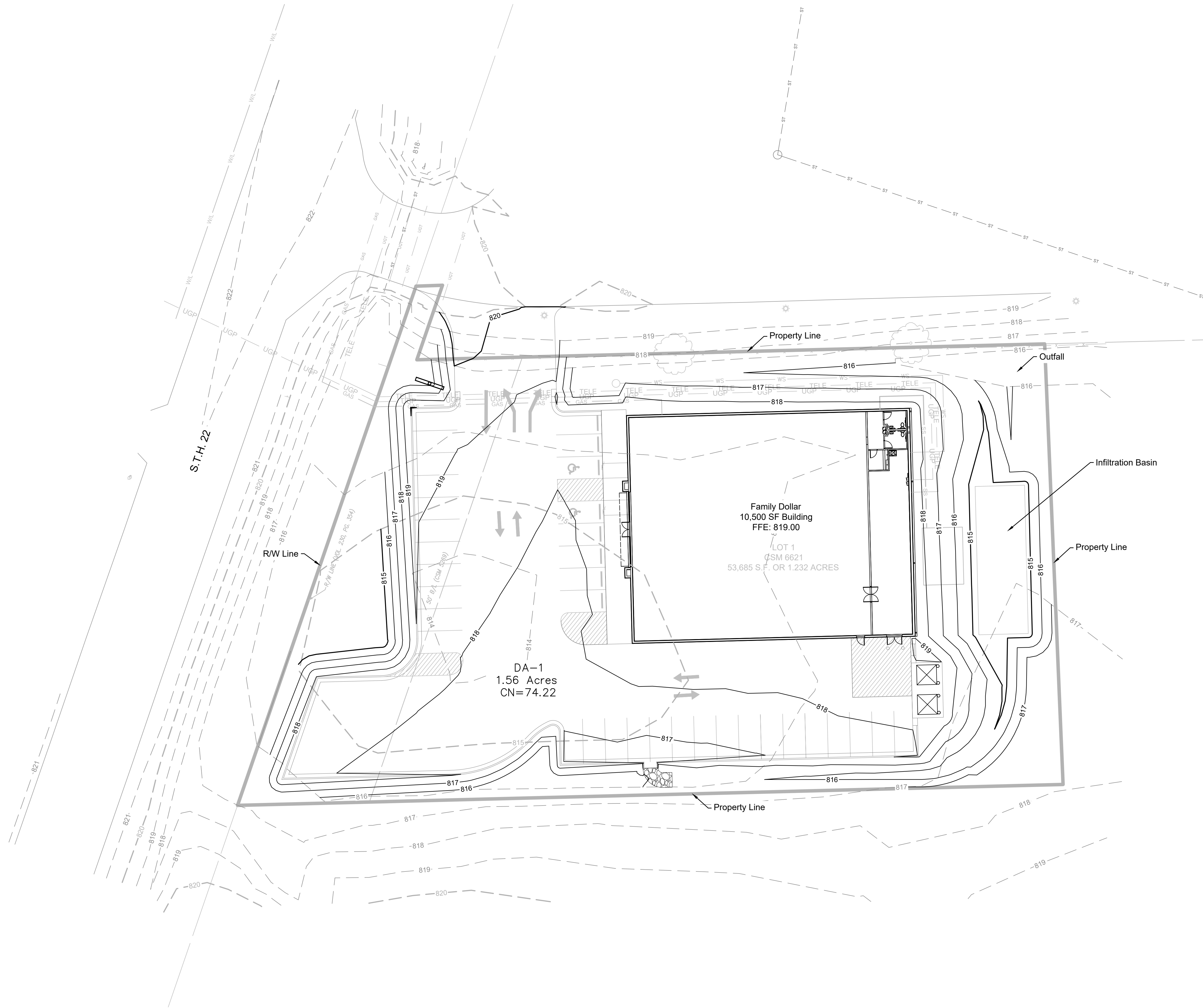


Infiltration Basin Section B-B

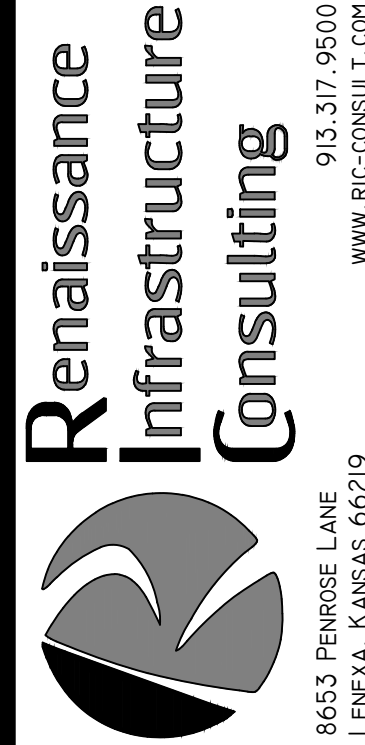
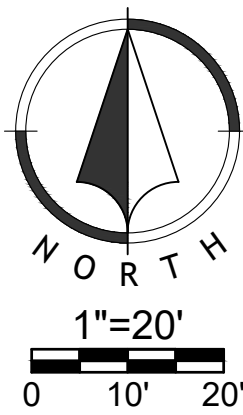
- INFILTRATION BASIN NOTES:
- 1) Infiltration Basin Design shall conform to the Wisconsin Department of Natural Resources, Chapter 151.
 - 2) 2-year, 10-year, 25-year, and 100-year rainfall events were additionally computed for infiltration basin sizing and overflow sizing.



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2/10/2022 10:00:00 AM
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Drainage Map Legend	
---	Existing Major Contour
---	Existing Minor Contour
---	Proposed Major Contour
---	Proposed Minor Contour



8453 Renaissance Lane
Overland Park, KS 66219
www.ri-infrastructure.com

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BW	DB

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C5.0

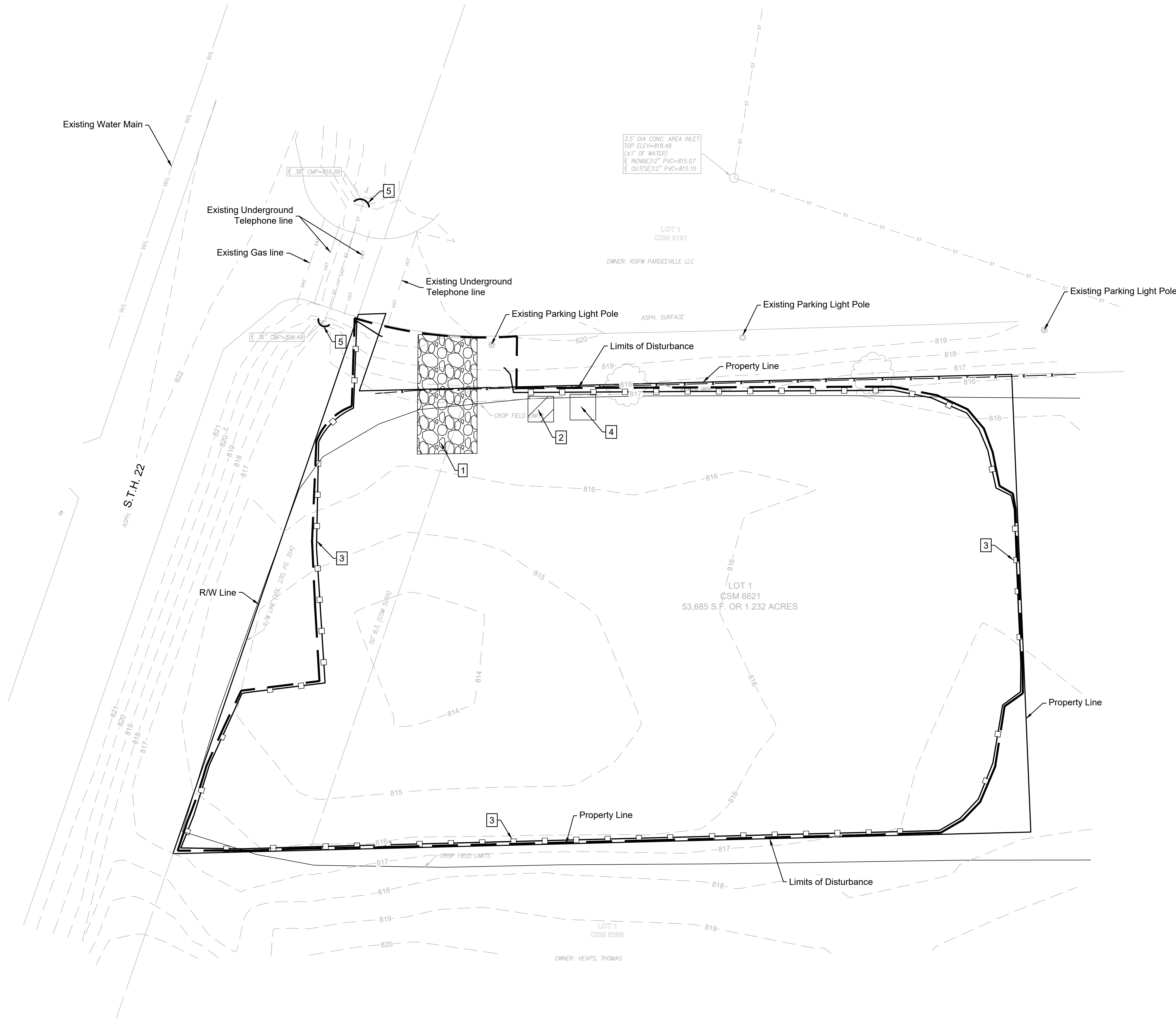
Drainage Map

Construction Documents

22-0111
Family Dollar
Pardeeville, Columbia County, Wisconsin

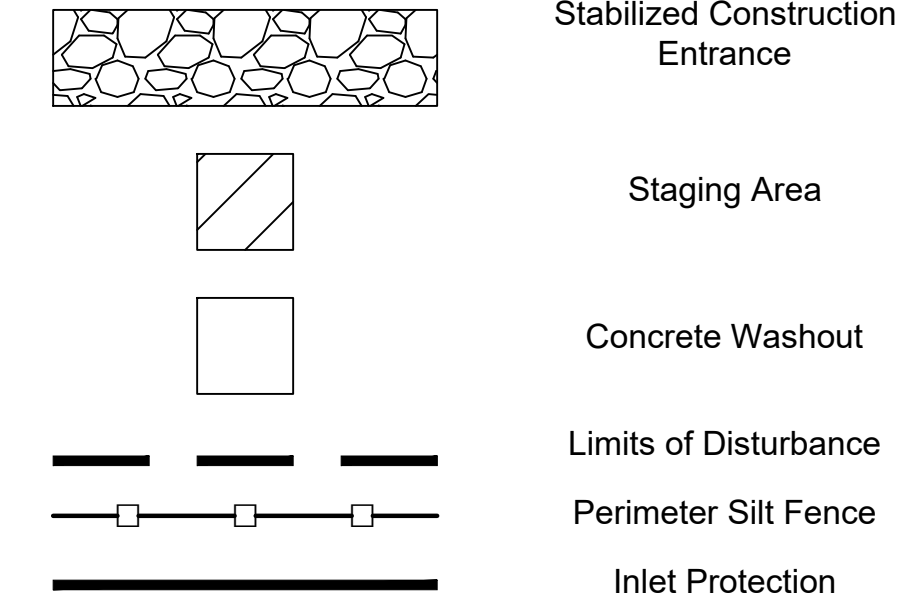
WI Certificate of Authority: R068918

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Disturbed Area for Site Improvements: 1.09 Acres

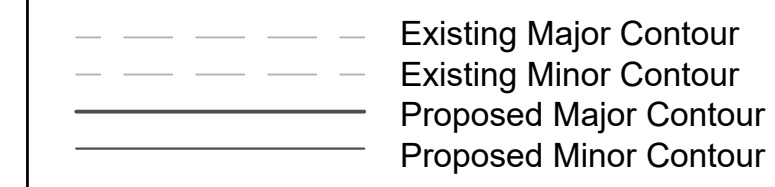
EROSION CONTROL LEGEND



EROSION CONTROL NOTES

- Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsite sedimentation.
- The retention of access controls and sediment controls shall be required for areas where seed has not established 70% cover.
- The contractor shall temporarily seed and mulch all disturbed areas if soil disturbing activities cease and will not resume for more than 14 days. Stabilization activities must also be completed within 14 days.
- Install "J" Hooks on silt fence every 100 LF
- Any location that is being accessed by vehicles needs to have a construction entrance.
- Contractor must keep a broom on site in order to clean up mud tracked on to the streets immediately.
- Any contractor parking that is in a disturbed area must be rocked to prevent tracking of mud.

Grading Legend



WRITTEN SEQUENCING

- Implement Pre-Clearing Plan:**
All temporary structural BMP's shown on the pre-clearing plan must be in place before the general clearing operations. Clearing necessary to place temporary structural BMP's is the minimum required for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in Place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
- Clear and Stabilize Work Areas:**
Grade contractor areas and place all-weather surface on contractor areas.
- Clearing and Grubbing:**
After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.

	PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
Phase I	A-Prior to Construction	1	Construction Entrance	II	Install Construction Entrance
		2	Staging Area	II	Install Staging Area
		3	Perimeter Silt Fence	III	Install Silt Fence
		4	Concrete Washout	II	Install Concrete Washout as Shown on Plans Prior to Pouring Any Concrete
Phase II	B - During Land Disturbance & Storm Infrastructure Installation	5	Inlet Protection	III	Install Filter Bags Prior to Construction
Phase III	C-Final Stabilization	6	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%

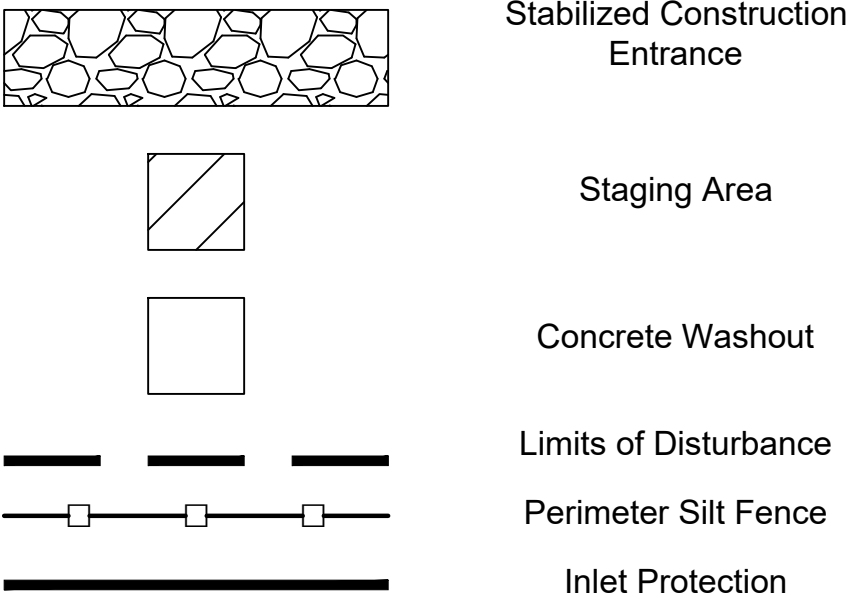


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Disturbed Area for Site Improvements: 1.09 Acres

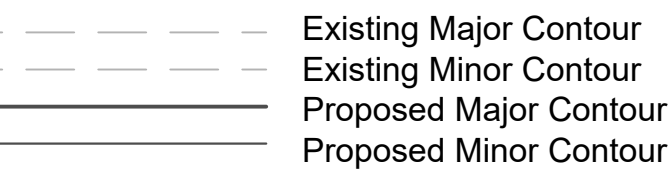
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Grading Legend



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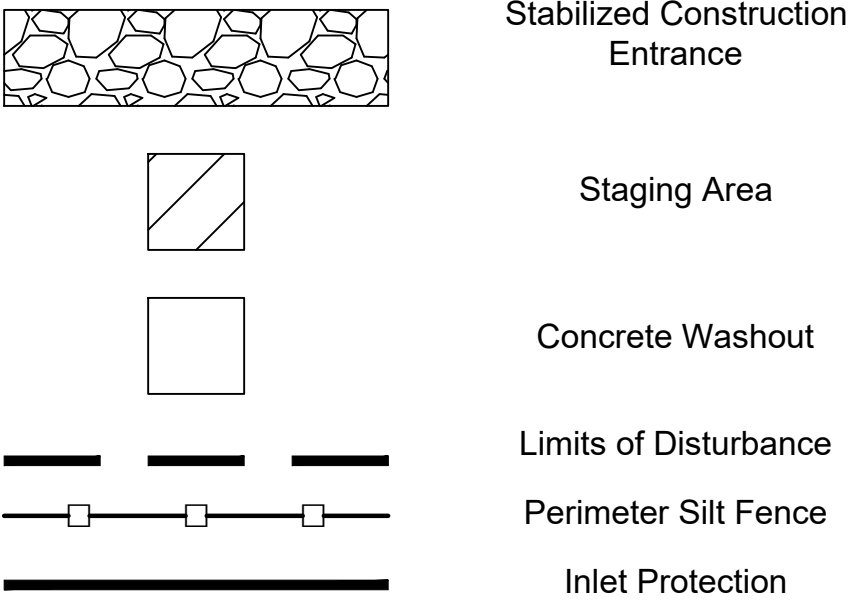
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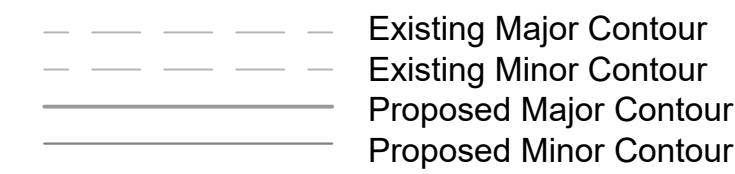
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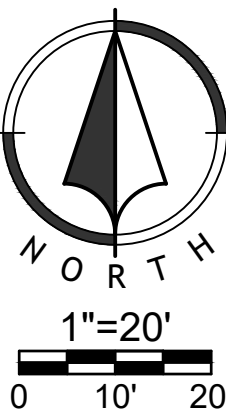
Grading Legend



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NO.	DATE	REVISION
1	1/20/2023	Rev Set

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BW	DB

Renaissance

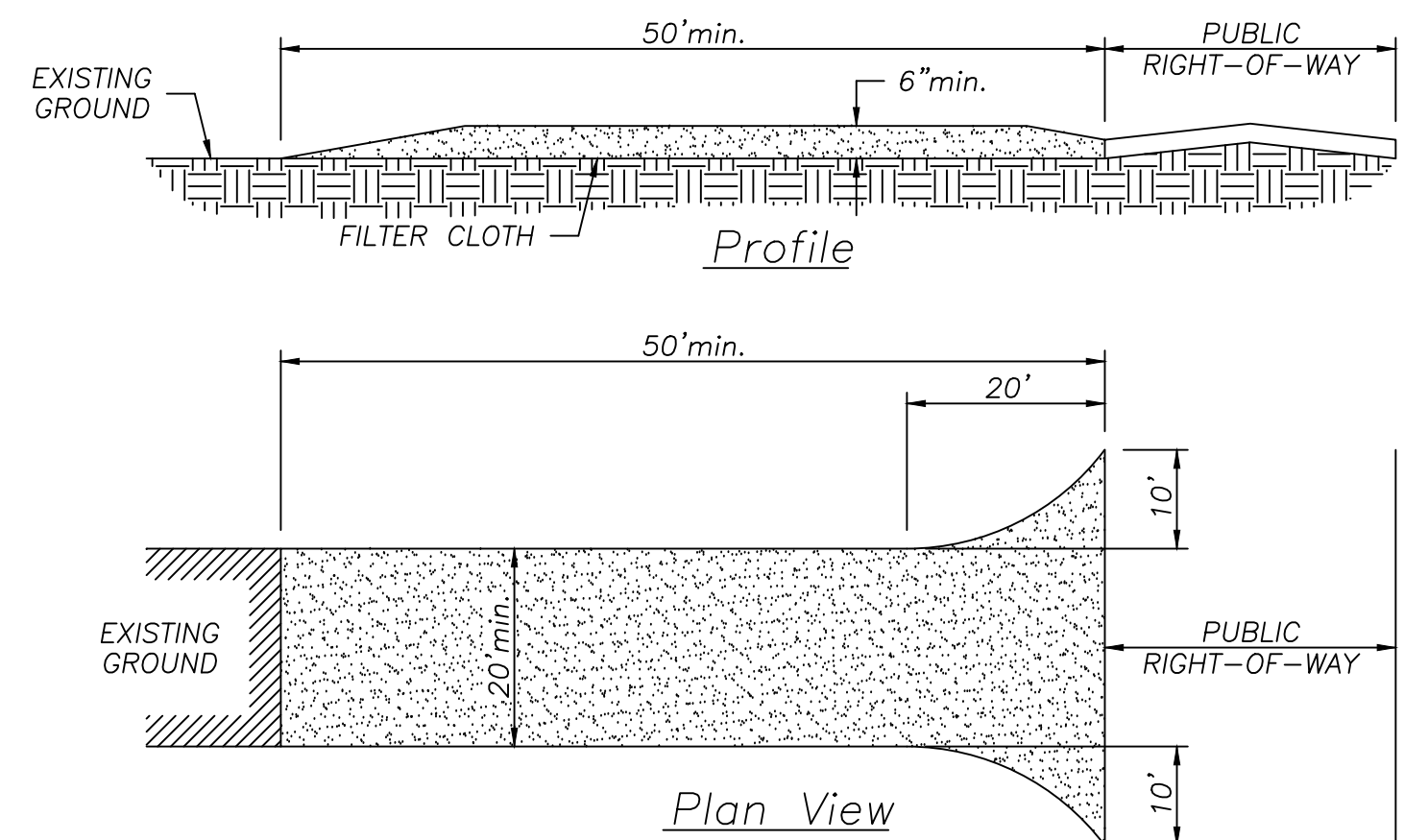
Infrastructure Consulting

8453 RENAISSANCE LAKE

UNION, KANSAS 66209

913.327.8520

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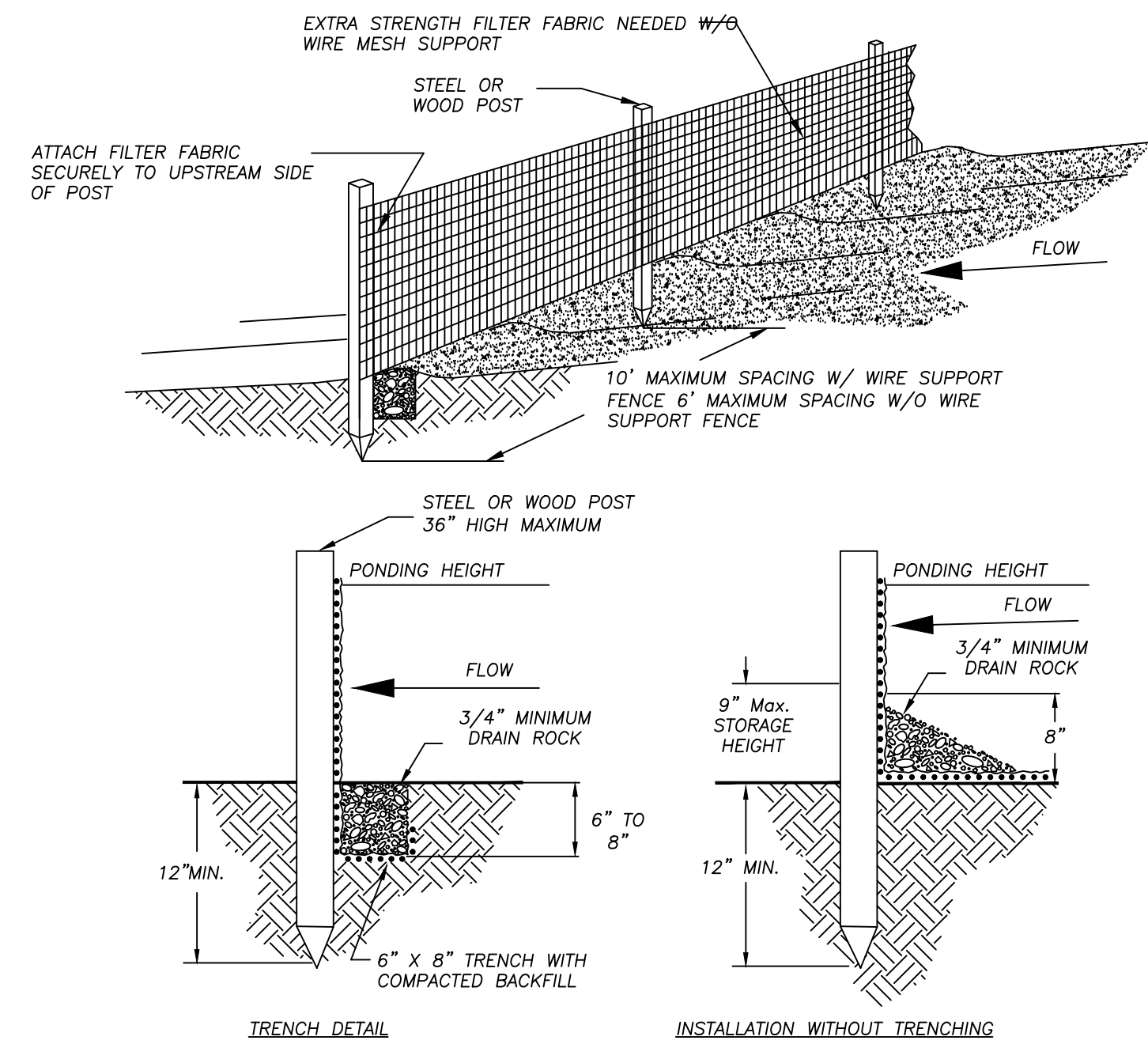


CONSTRUCTION SPECIFICATIONS:

1. STONE SIZE - USE (2) INCH STONE, OR RECLAIMED OR RECYCLED EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN (50) FEET.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OF EGRESS OCCURS.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPIED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 3:1 SLOPE SHALL BE CONSTRUCTED AND PIPIED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF THE ENTRANCE SHALL BE ASSURED TO PREVENT SEDIMENT FROM BEING TRACKED, DISPERSED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH SEEDING AND WHICH IS NOT AN APPROVED OR APPROPRIATE TRAPPING DEVICE.
9. PERIODIC INSPECTION AS NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

Temporary Construction Entrance

Not to Scale

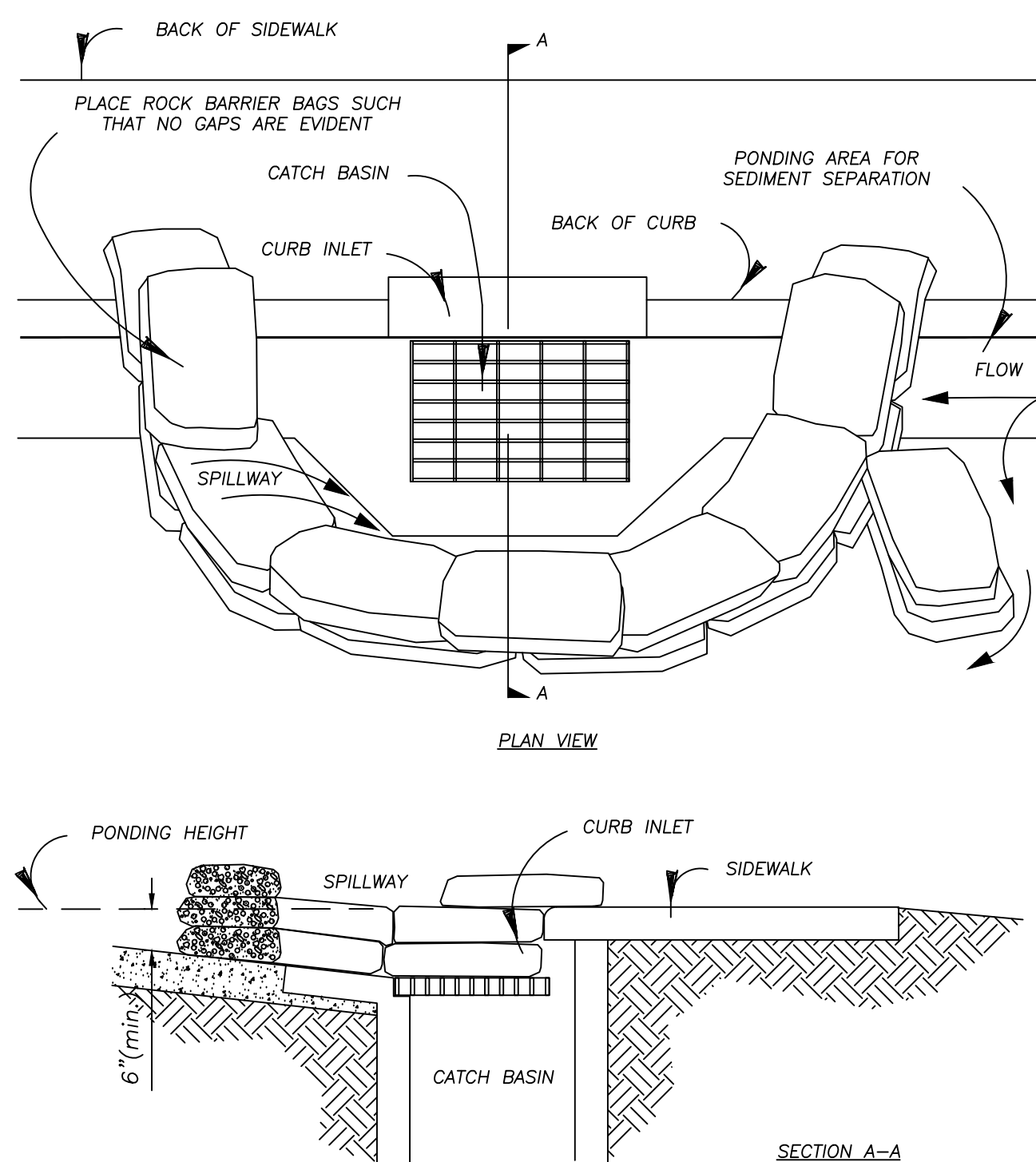


NOTES:

1. MUST BE INSTALLED PROPERLY TO AVOID NOTICE OF VIOLATION.
2. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE POUNDING EFFICIENCY.
3. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
4. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

Filter Fabric Silt Fence

Not to Scale

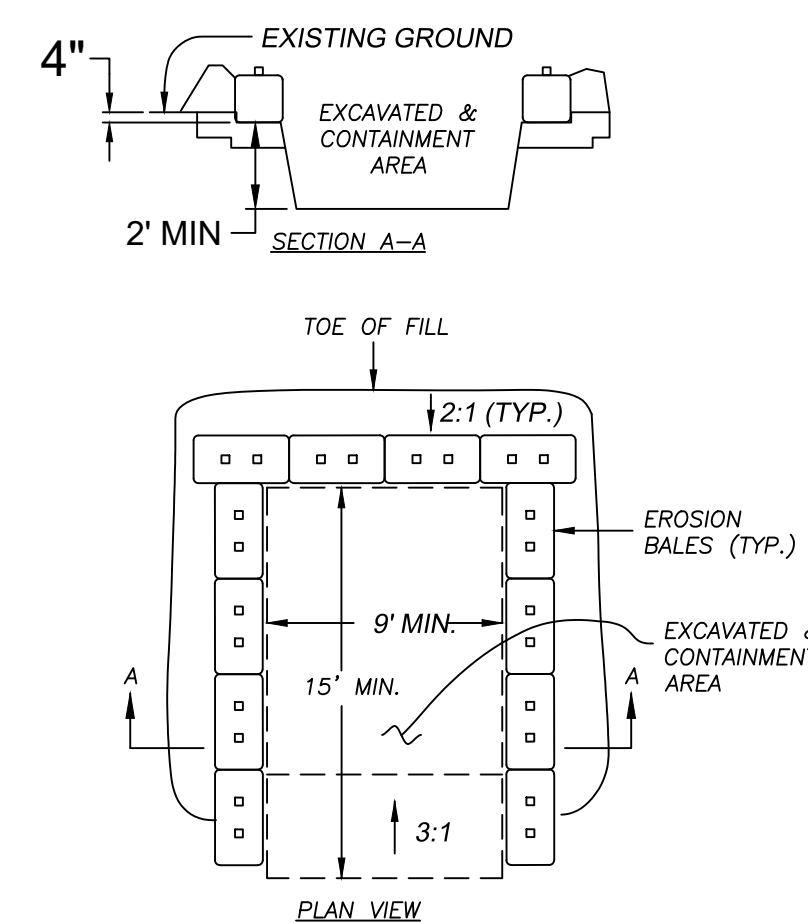


NOTES:

1. ALL ROCK BAG BARRIERS MUST AGREE WITH THE NOTES ON PREVIOUS PAGE.
2. PLACE CURB TYPE ROCK BAG BARRIER ON GENTLY SLOPING STREET, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
3. BAGS OF WOVEN GEOTEXTILE FABRIC, FILLED WITH GRAVEL MUST BE LAYERED SUCH THAT NO GAPS ARE EVIDENT.
4. USE ONE SANDBAG GAP IN THE TOP ROW ON THE SIDE AWAY FROM FLOW, TO PROVIDE A SPILLWAY TO THE CENTER IF PONDING IS NEEDED ON BOTH SIDES.
5. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT, SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY

Rock Bag Curb Inlet Barrier

Not to Scale

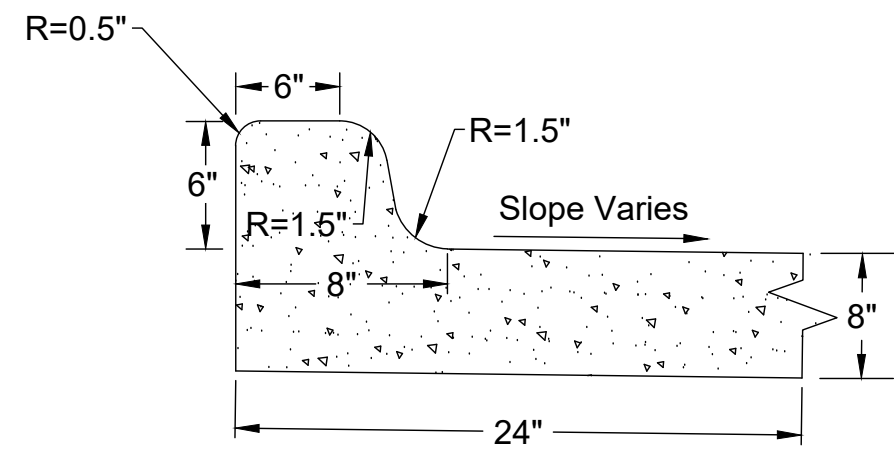


Concrete Washout

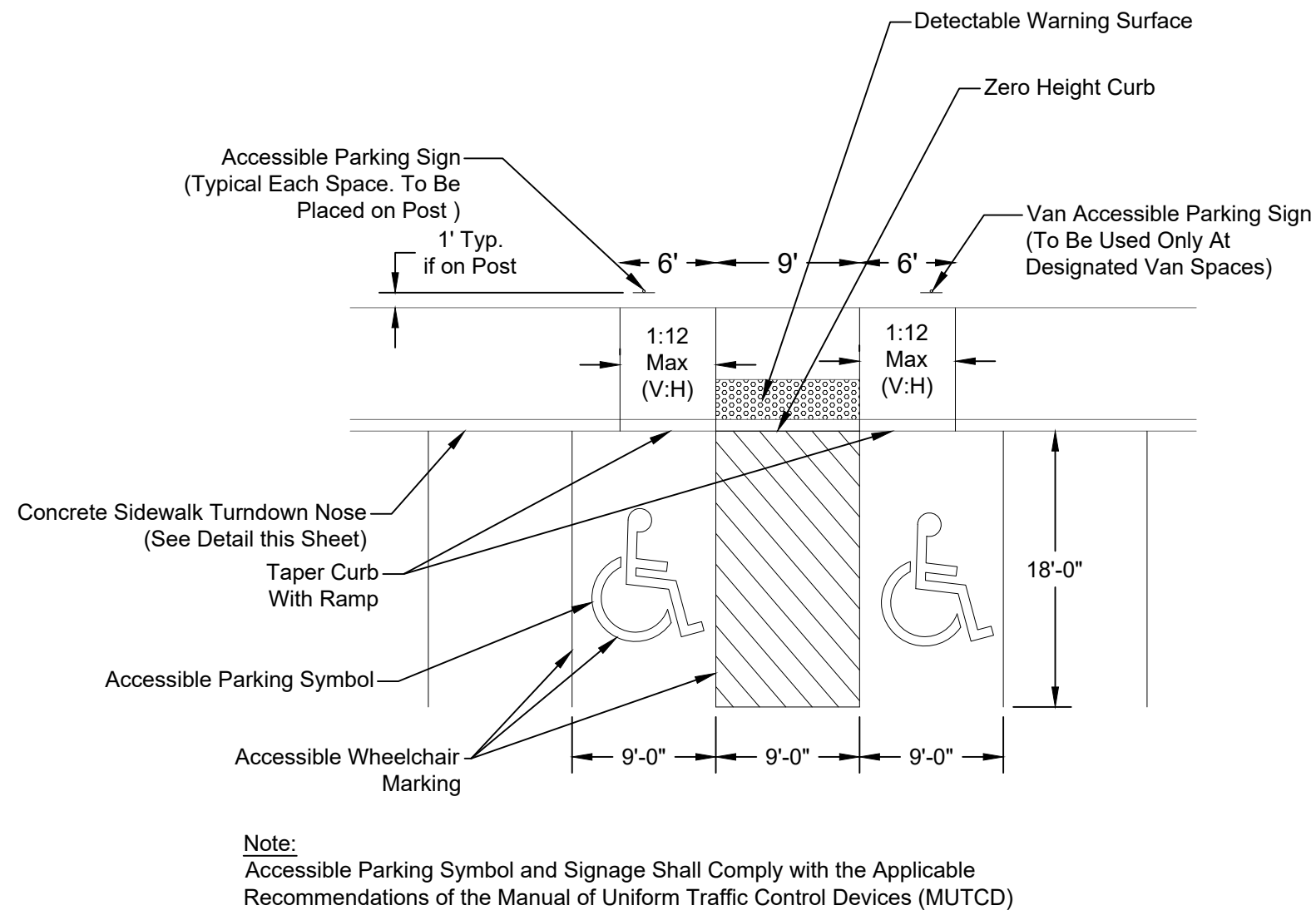
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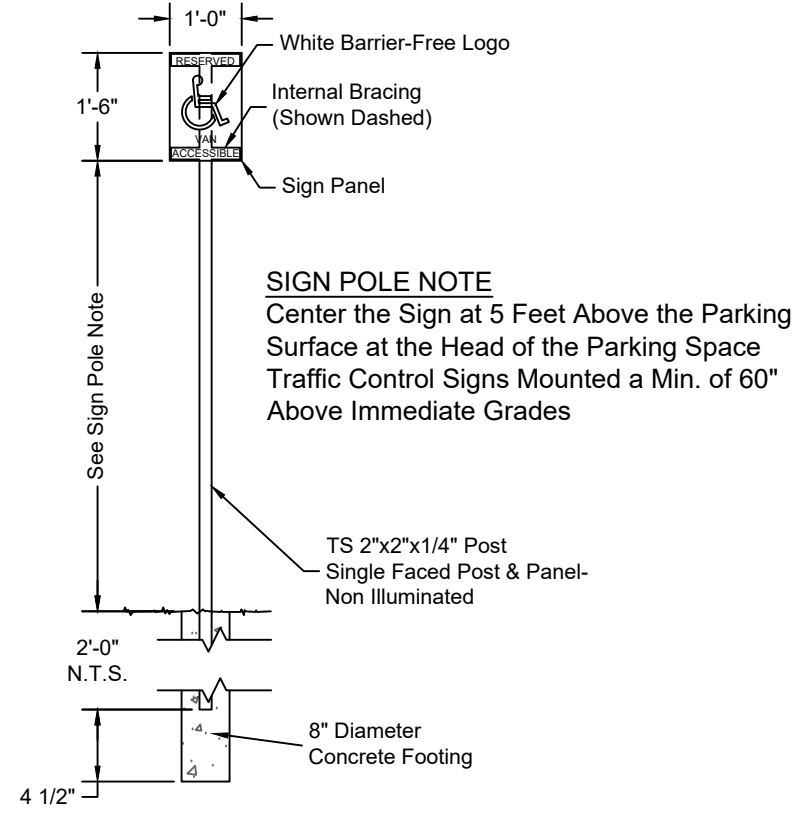
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Inventory



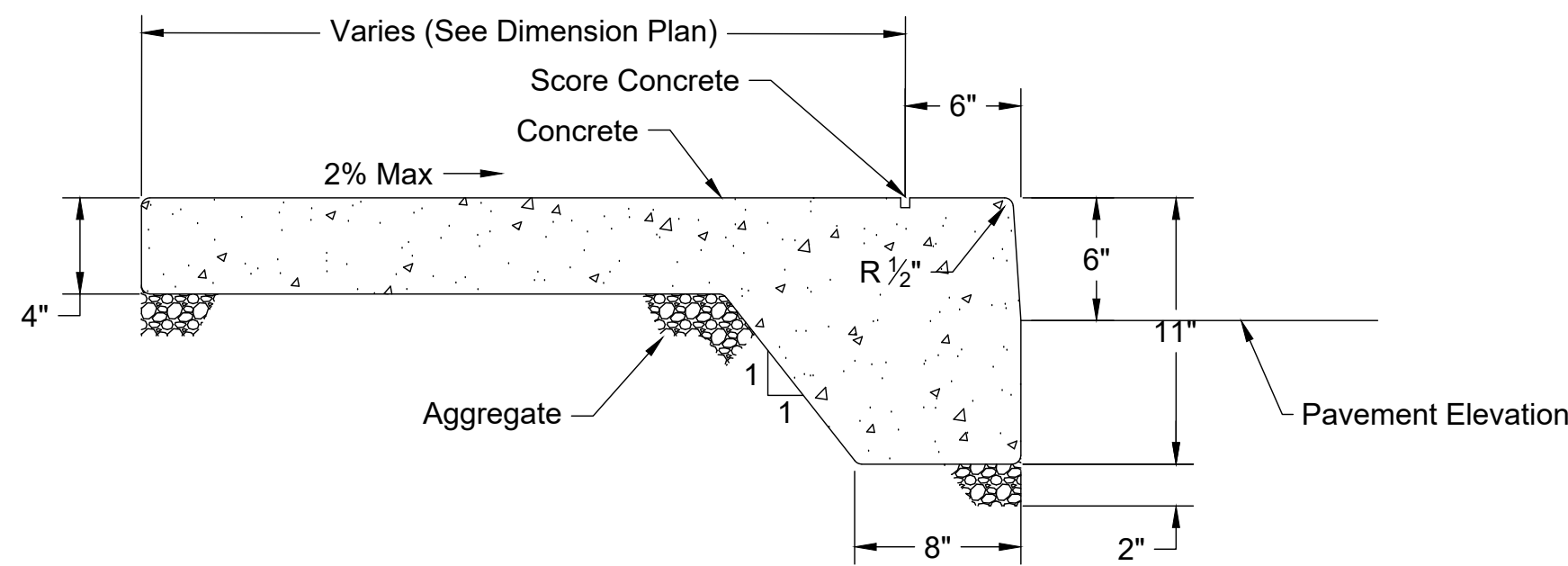
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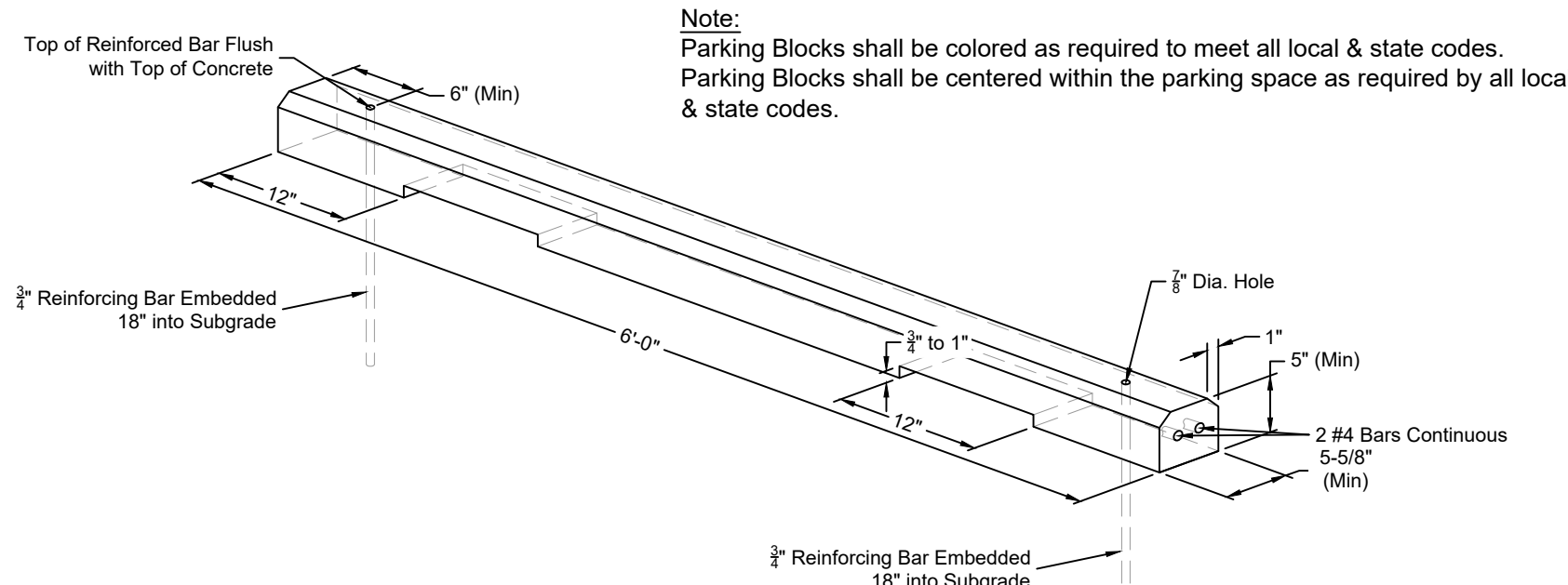
ACCESSIBLE PARKING DETAIL
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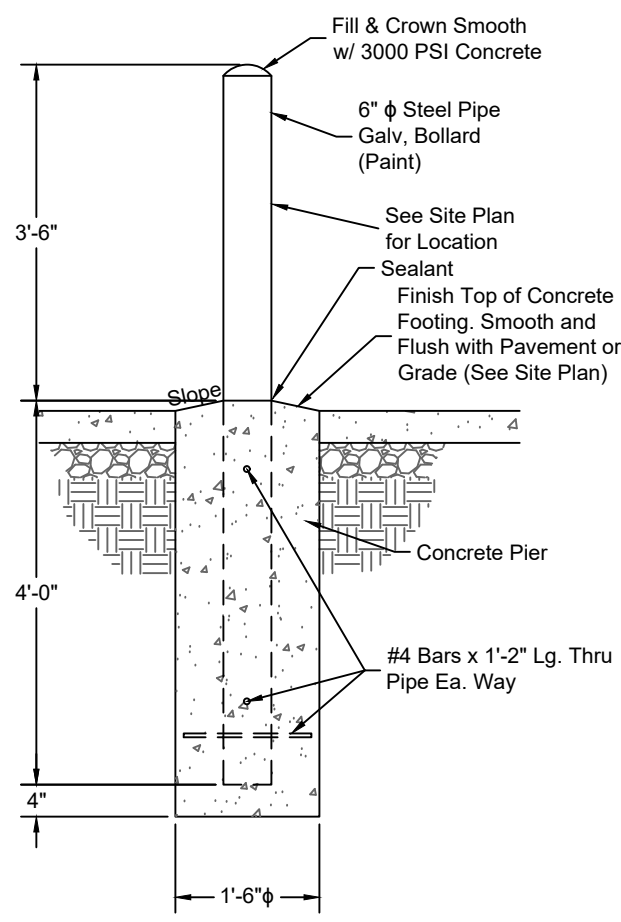
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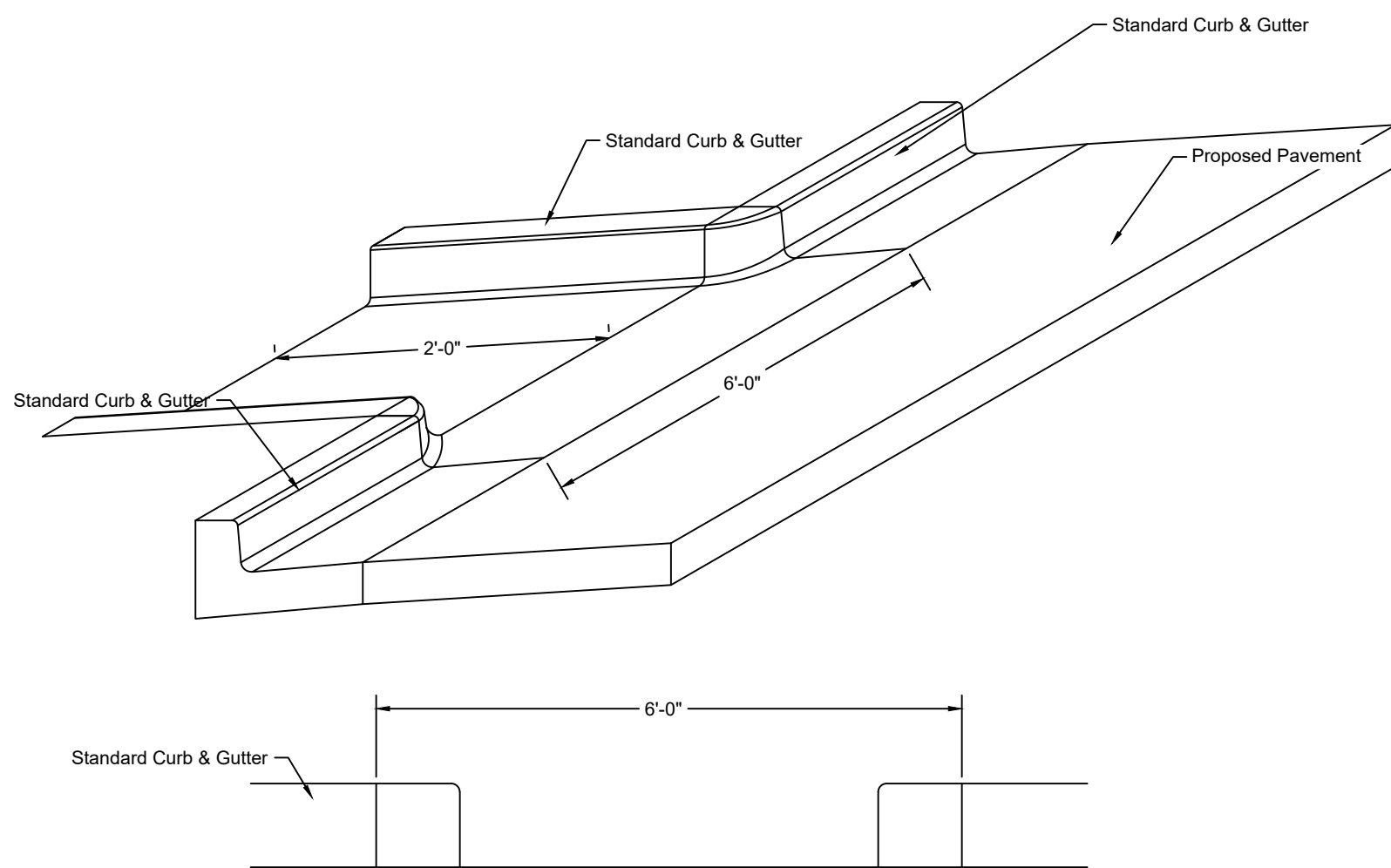
INTEGRAL SIDEWALK - CURB DETAIL
Not to Scale



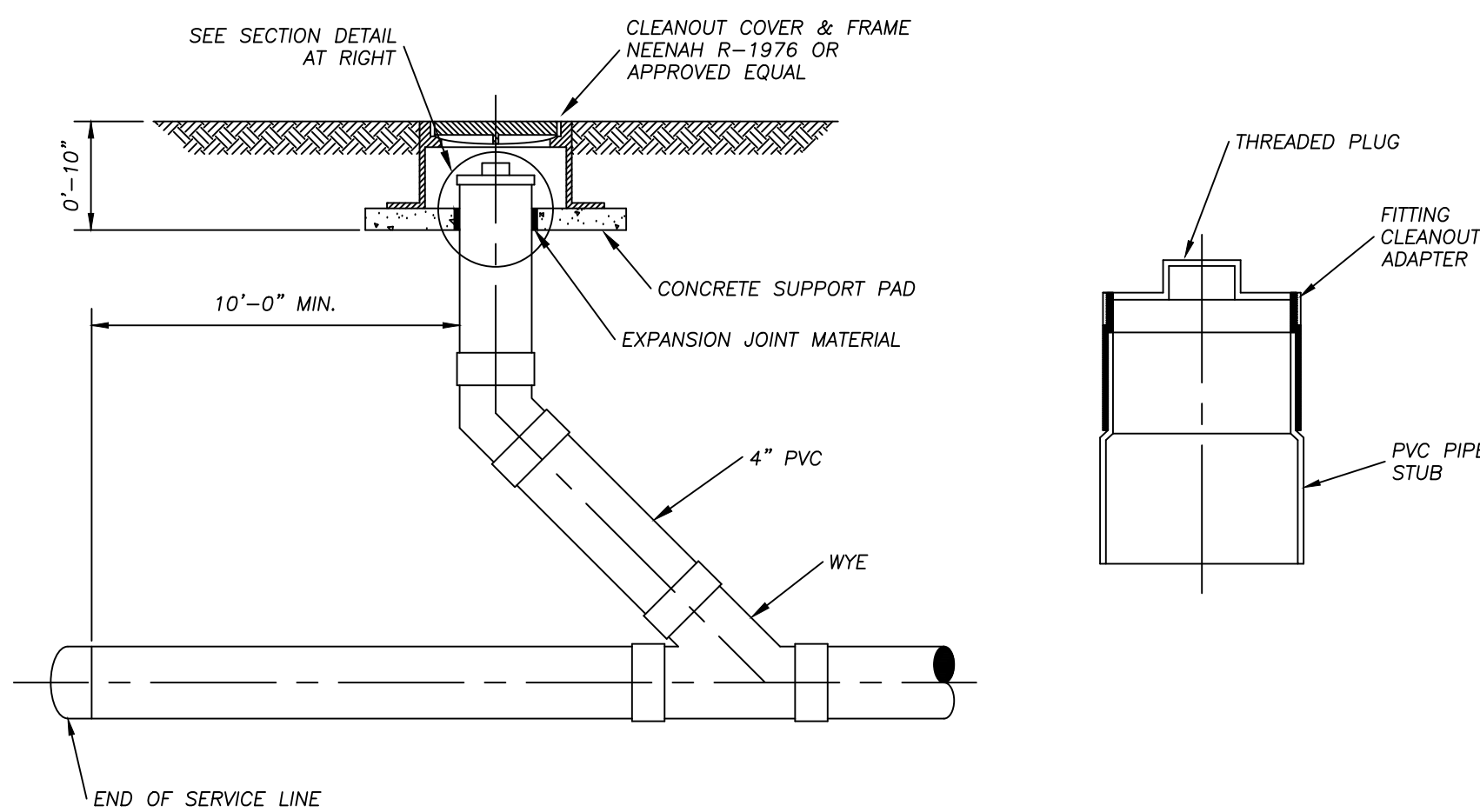
CONCRETE PARKING BLOCK DETAIL
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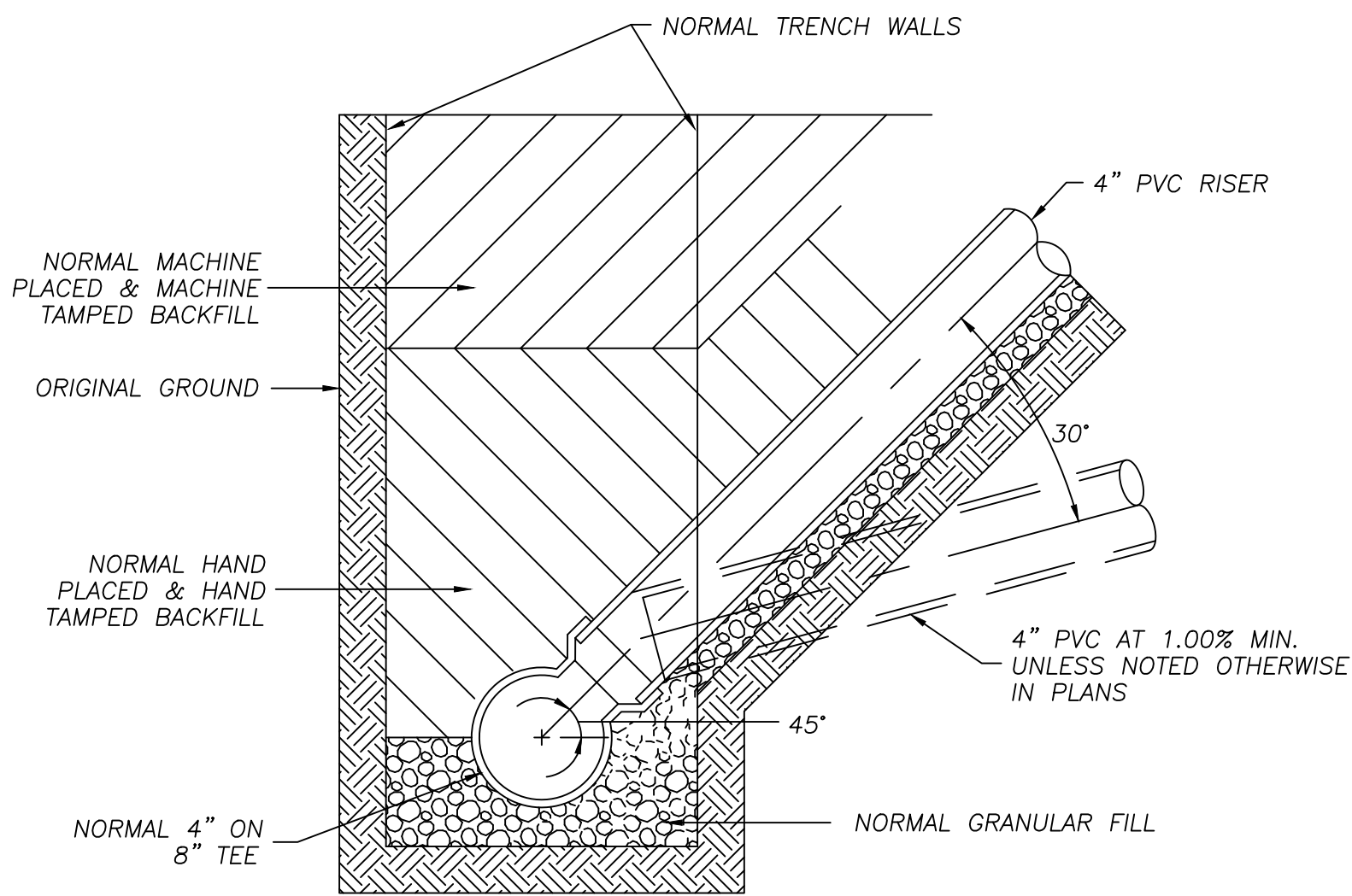
BOLLARD DETAIL
Not to Scale



FLUME DETAIL
Not to Scale



CLEANOUT
Not to Scale



TEE ORIENTATION/RISER
Not to Scale

Kayla Lindert

From: Erin Salmon
Sent: Wednesday, August 2, 2023 11:09 AM
To: Kayla Lindert
Cc: pvillepresident (pvillepresident@gmail.com)
Subject: Fwd: Dollar Tree Site Plan Review
Attachments: 00041028 Pardeeville Family Dollar_CRS review 080123.pdf

Kayla,
Please print this email to .pdf for the plan commission meeting. Please also attach the memo.
Also include both in the Board packet as reference.
Thanks!

Erin M. Salmon, P.W.M.
Village Administrator/Director of Public Works
Village of Pardeeville & Pardeeville Utilities

Sent from my U.S.Cellular® Smartphone
Get [Outlook for Android](#)

From: Bill Pinnow <bpinnow@msa-ps.com>
Sent: Wednesday, August 2, 2023 10:49:52 AM
To: agabbert@ric-consult.com <agabbert@ric-consult.com>
Cc: Erin Salmon <dpw@villageofpardeeville.net>; Bill Pinnow <bpinnow@msa-ps.com>; Makenzie Gingras <mgingras@msa-ps.com>
Subject: Dollar Tree Site Plan Review

Andy,
MSA has completed a review of the Family Dollar site plan in Pardeeville. MSA is recommending a conditional approval at the upcoming meeting Tuesday August 8th however several items require additional attention prior to final approval. Please review and if any items are addressed prior the meeting, we will provide that information to the Plan Commission as being completed.

Feel free to reach out to me with any questions. If you have information to be resubmitted, please send it to me directly or you can send stormwater specific information/comments to our stormwater reviewer Mackenzie Gingras at mgingras@msa-ps.com. Thank you.



Bill Pinnow, PE | Principal Engineer

MSA Professional Services, Inc.

100% Employee Owned

+1 (608) 421-7140

An Equal Employment Opportunity/Affirmative Action Employer





August 1, 2023

Village of Pardeeville
ATTN: Erin Salmon
114 Lake Street
Pardeeville, WI 53954

Re: Family Dollar Site Review – Pardeeville, WI
MSA PN 00041028

MSA reviewed the site plan received on July 12, 2023 for the proposed Family Dollar located at N6776 State Road 22 in Pardeeville, WI as well as the "Storm Water Drainage Study", dated June 28th 2023, provided by RIC. The address listed on the plan set is the address associated with the property prior to annexation to the Village of Pardeeville. At this time, a new address has not been assigned. An ordinance annexing the property into the Village of Pardeeville was adopted on September 20, 2022 and was recorded at the Village of Columbia County Register of Deeds October 27, 2022. The current zoning of the parcel is B-2.

General:

1. Lighting and landscaping plans were not included with the March 10, 2023 or this submittal. Please provide for review.
2. Temporary Construction Entrance shown on Sheet C6.4 should note the requirement for 3-Inch Clear Stone.
3. Are the Cleanout and Tee Orientation Riser shown on Sheet C7.0 used within this project? If so, they should be called out on Sheet C4.0. If not, they should be removed from Sheet C7.0
4. The site exceeds one acre therefore an approved Notice of Intent Permit approved by WDNR is required to be provided to the Village prior to being issued Site Plan Approval.
5. WDOT site access and permit to work in right of way required to be provided for the property prior to final approval being issued by the Village.

Stormwater:

The project site appears to be able to meet stormwater management requirements, however additional items are required for further review.

6. Soil borings and/or test pits may be required to be performed to confirm the native soil infiltration rate in the location of the infiltration basin. Reference Wisconsin Storm Water Post-Construction Technical Standard 1002.

7. Is the infiltration basin intended to follow the technical requirements for 1003: Infiltration Basin or 1007: Infiltration Trench? The design detail in the provided Construction Documents appears to be following the design for an infiltration trench.

8. Please provide the WinSLAMM modeling input data and information. The drainage report only provides portions of the modeling output, but MSA cannot verify the project area and infiltration basin inputs.

1702 Pankratz Street
Madison, WI 53704

P (608) 242-7779
TF (608) 575-7568
F (608) 242-6646

www.msa-ps.com

Pardeeville, WI 53954
August 1, 2023

9. It appears that there is more offsite area runoff contributing to the infiltration basin that has not been accounted for, particularly the agricultural lot to the south. There is more than 1 acre from this property that will drain to the southern swale and into the infiltration basin. Is this intended, or will some type of small berm be built to keep this out of the infiltration basin? There is also offsite runoff coming from the lot to the north, however it is a smaller area. MSA estimates about 2.6 acres will contribute to the infiltration basin, this includes the offsite areas.

10. Are the swales the intended pretreatment method for this site? Do the swales meet the pretreatment 80% TSS reduction requirement? Often, a bioretention basin will be used for stormwater management so the 2-ft engineered soil layer can be used for pretreatment before infiltration.

Utilities:

11. Well location needs to be called out on Sheet C4.0.
12. Edit water service note on Sheet C4.0 to pertain to a well connection and not a water main.
13. The sewer is connected to a septic system to be designed by others. Details on septic design not provided with this submittal. Provide details on septic design.
14. Proposed septic field location to be verified as to not conflict after stormwater management.
15. Confirm with Village of Pardeeville Fire Department location, if necessary, for knox box to be placed on building. Please provide a response.

Grading:

16. Grading on the frontage of the property creates a low area at elevation 815.0 with no outlet.
17. Provide spot grades and slope arrows and percentages. Plan appears to have areas that are below acceptable minimum standards. (Grass slope >1.0%, asphalt slope >1.0%)

MSA is recommending approval of the site plan conditional on receiving information provided above and items 1-17 being addressed.

Sincerely,
MSA Professional Services, Inc.



Bill Plnow, PE
Consulting Engineer